

**A PUBLIC HEARING AND REGULAR MEETING
OF THE TOWN OF LADYSMITH COUNCIL
AGENDA
5:30 P.M.**

**Tuesday, May 21, 2024
Ladysmith Seniors Centre
630 2nd Avenue**

Pages

1. CALL TO ORDER

Call to Order 5:30 p.m. in Open Session, in order to retire immediately into Closed Session.

Members of the public are welcome to attend all Open Meetings of Council, but may not attend Closed Meetings.

2. CLOSED SESSION

Recommendation

That, in accordance with section 90(1) of the *Community Charter*, Council retire into closed session in order to consider items related to the following:

- (k) negotiations and related discussions respecting the proposed provision of a municipal service.

3. OPEN MEETING AND ACKNOWLEDGEMENT (6:00 P.M.)

The Town of Ladysmith acknowledges with gratitude that this meeting takes place on the unceded territory of the Stz'uminus First Nation.

Members of the public may attend meetings in person at the Ladysmith Seniors Centre or view the livestream on YouTube:

<https://www.youtube.com/channel/UCH3qHAExLiW8YrSuJk5R3uA/featured>.

4. AGENDA APPROVAL

Recommendation

That Council approve the agenda for this Public Hearing and Regular Meeting of Council for May 21, 2024.

5. PUBLIC HEARING

“Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2024, No. 2170” and “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2024, No. 2171”

Subject Property: Lot A, Holland Creek

(Lot A Block 192 District Lot 103 Oyster District Plan EPP63594 Except Plan EPP67741, EPP75579, EPP80490, EPP98460 and EPP98461)

PID: 030-139-520

5.1 Outline of Public Hearing Process - Mayor Stone

5.2 Introduction of Bylaws and Statutory Requirements - Director of Development Services

5.3 Submissions

5.4 Call for Submissions to Council (Three Times) - Mayor Stone

5.5 Declaration that the Public Hearing for Bylaw Nos. 2170 and 2171 is Closed - Mayor Stone

6. BYLAWS - OFFICIAL COMMUNITY PLAN AND ZONING (SUBJECTS OF THE PUBLIC HEARING)

6.1 “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2024, No. 2170”

6

Recommendation

That Council give third reading to “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2024, No. 2170”.

6.2 “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2024, No. 2171”

10

Recommendation

That Council give third reading to “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2024, No. 2171”.

7. RISE AND REPORT- Items from Closed Session

8. MINUTES

8.1 Minutes of the Regular Meeting of Council held May 7, 2024 16

Recommendation

That Council approve the minutes of the Regular Meeting of Council held May 7, 2024.

8.2 Minutes of the Special Meeting of Council held May 14, 2024 25

Recommendation

That Council approve the minutes of the Special Meeting of Council held May 14, 2024.

9. PROCLAMATIONS

9.1 National AccessAbility Week - May 26 - June 1, 2024 27

Mayor Stone has proclaimed May 26 - June 1, 2024 as " National AccessAbility Week" in the Town of Ladysmith.

10. DEVELOPMENT APPLICATIONS

10.1 Development Variance Permit 3090-24-02 and Development Permit 3060-22-14 – 670 Farrell Road 28

Recommendation

That Council:

1. Issue Development Variance Permit 3090-24-02 to vary section 10.11.5 (a) of "Town of Ladysmith Zoning Bylaw 2014, No. 1860" to increase the maximum height of five proposed buildings from 10.0m to 16.8m at 670 Farrell Road (Lot 12, District Lot 41, Oyster District, Plan EPP119981; PID: 032-050-844 as follows:
 - Building 4 to a maximum height of 11.0 metres;
 - Building 6 to a maximum height of 12.4 metres;
 - Building 7 to a maximum height of 11.5 metres;
 - Building 8 to a maximum height of 15.7 metres; and
 - Building 9 to a maximum height of 16.8 metres.
2. Issue Development Permit 3060-22-14 to allow construction of a 54-unit townhouse and multi-family development at 670 Farrell Road.

11. COMMITTEE MINUTES

11.1 Community Planning Advisory Committee - May 1, 2024 150

Recommendation

That Council receive the minutes of the Community Planning Advisory Committee meeting held May 1, 2024.

11.2 Committee of the Whole - May 14, 2024 152

Recommendation

That Council:

1. Give first, second and third readings to “Town of Ladysmith Animal Control Bylaw 2024, 2167”; and
2. Direct staff to bring forward consequential amendments to the “Town of Ladysmith Zoning Bylaw 2014, No. 1860”.

Recommendation

That Council direct staff to:

1. Amend “Town of Ladysmith Community Centre Facilities Fees and Charges Bylaw 2021, No. 2086,” as presented in Attachment A of the May 14, 2024, staff report;
2. Present the proposed FJCC admission changes to the Cowichan North Recreation Commission and Cowichan Valley Regional District for their respective endorsement;
3. Upon the Commission’s and Board’s endorsement, bring the amended “Community Centre Facilities Fees and Charges Bylaw 2021, No. 2086” to Town of Ladysmith Council for consideration; and
4. Amend the “Fees and Charges Department: Parks, Recreation and Culture Policy” definition of family from four to six children.

12. BYLAWS

12.1 Bylaw Status Sheet 158

13. NEW BUSINESS

13.1 National Indigenous Peoples Day - Friday, June 21, 2024

159

Recommendation

“That Council considers donating XXX to the Stz’uminus First Nation in support of their Indigenous People’s Day 2024 event, with the funds to come from the Council public relations budget.”

14. QUESTION PERIOD

- A maximum of 15 minutes is allotted for questions.
- Persons wishing to address Council during "Question Period" must be Town of Ladysmith residents, non-resident property owners, or operators of a business.
- Individuals must state their name and address for identification purposes.
- Questions put forth must be related to items on the agenda.
- Questions must be brief and to the point.
- Questions shall be addressed through the Chair and answers given likewise. Debates with or by individual Council members or staff members are not allowed.
- No commitments shall be made by the Chair in replying to a question. Matters which may require action of the Council shall be referred to a future meeting of the Council.

15. ADJOURNMENT

TOWN OF LADYSMITH

BYLAW NO. 2170

A Bylaw to Amend "Official Community Plan Bylaw 2003, No. 1488"

The Council of the Town of Ladysmith in open meeting assembled enacts the following to effect changes to "Official Community Plan Bylaw 2003, No. 1488":

Definitions:

1. For the purpose of this bylaw "subject property" means: Lot A Block 192 District Lot 103 Oyster District Plan EPP63594 Except Plan EPP67741, EPP75579, EPP80490, EPP98460 and EPP98461 (PID 030-139-520) and as shown in heavy black line in Schedules A, B, and C of this bylaw.

OCP Amendments:

2. "Official Community Plan Bylaw 2003, No. 1488" is hereby amended as follows:
 - a. Map 1: Future Land Use is amended to reconfigure the land use designation for the subject property as shown in Schedule A;
 - b. Map 4: Parks and Facilities is amended to add the areas of the subject property shown in green in Schedule B to the 'Local Park' designation;
 - c. Map 8: Development Permit Areas is amended to add portions of the subject property to DPA 4: Multi-unit Residential, DPA 3: Commercial and DPA 10.

Citation

3. This Bylaw may be cited for all purposes as "Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2024, No. 2170".

READ A FIRST TIME on the 7th day of May, 2024

READ A SECOND TIME on the 7th day of May, 2024

PUBLIC HEARING HELD Pursuant to Section 464 of the Local Government Act on the _____ day of _____, 2024

READ A THIRD TIME on the _____ day of _____, 2024

ADOPTED on the _____ day of _____, 2024

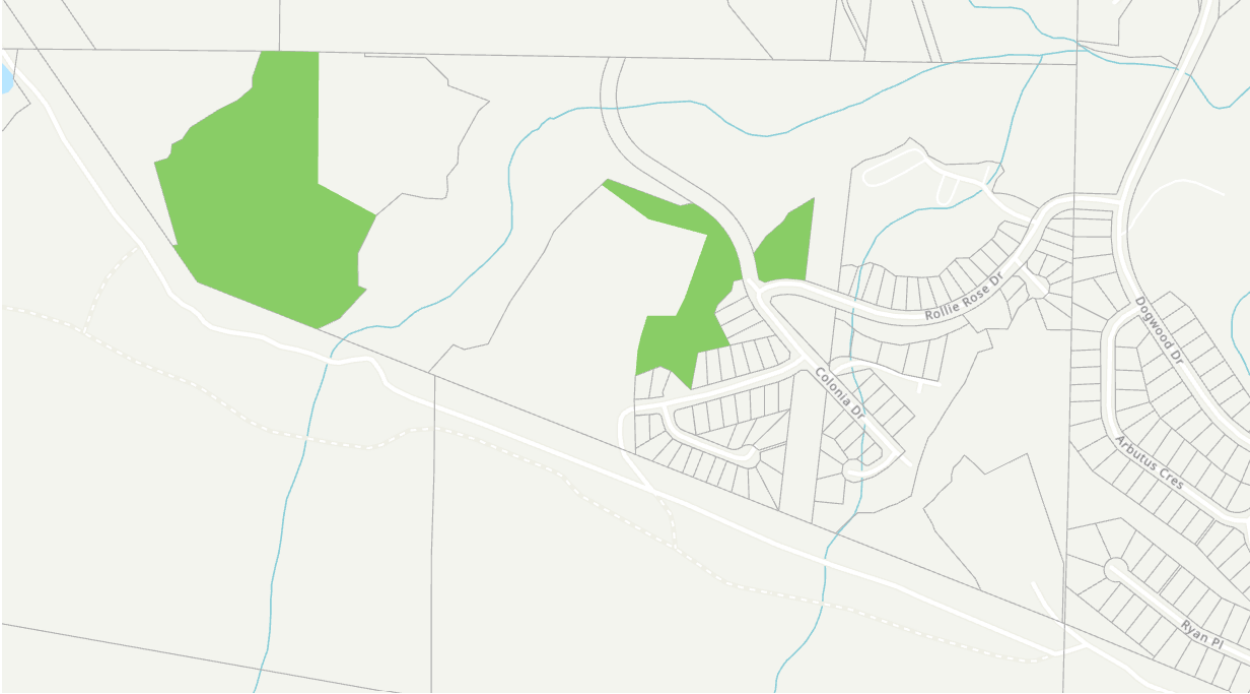
Mayor (A. Stone)

Corporate Officer (S. Bouma)

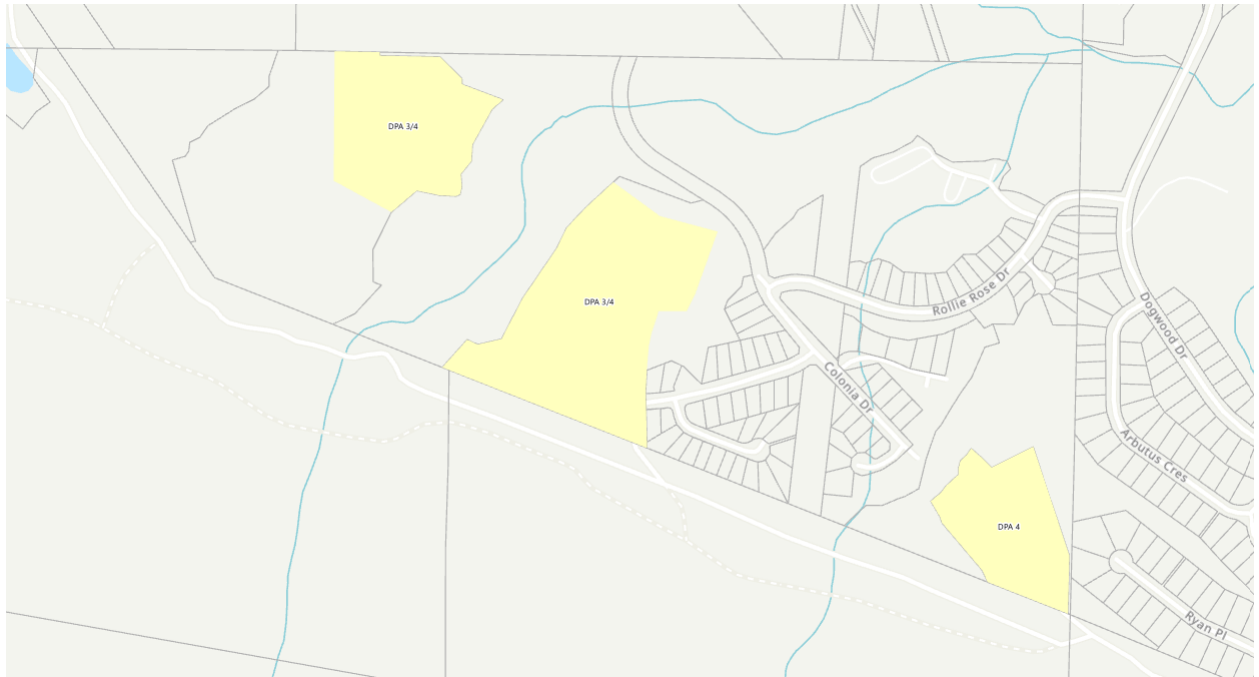
Schedule A



Schedule B



Schedule C



TOWN OF LADYSMITH

BYLAW NO. 2171

A Bylaw to amend "Town of Ladysmith Zoning Bylaw 2014, No. 1860"

The Council of the Town of Ladysmith in open meeting assembled enacts the following amendments to "Town of Ladysmith Zoning Bylaw 2014, No. 1860":

1. Schedule A – Zoning Bylaw Text is amended by adding as section 17.8 the Holland Creek Mixed-Use Residential (CD-8) zone attached to this bylaw as Schedule A;
2. Schedule B is amended to rezone Lot A Block 192 District Lot 103 Oyster District Plan EPP 63594 Except Plan EPP67741, EPP75579, EPP80490, EPP98460, and EPP98461 to Comprehensive Development 8– Holland Creek Mixed-Use Residential (CD-8), Nature Park (P-3), Park and Recreation (P-2) and Low Density Residential (R-3-A) as shown in Schedule B of this bylaw;
3. Subsection 10.11(8)(d) is deleted and replaced with the following:

“d) For the areas shown as A, B and C in Figure 10.11.1:
i) Community Care Facility and Assisted Living Residence licensed under the Community Care and Assisted Living Act are permitted Principal Uses
ii) Coffee Shop, Office and Personal Service Establishment are permitted Accessory Uses to Community Care Facility and Assisted Living Residence”;
4. Subsection 10.11(8)(e) is added as follows:

“e) Notwithstanding Section 10.11.4(b) and Section 10.11.5(d) for the area shown as area C in figure 10.11.1:
i) the maximum number of Dwelling Units permitted is 42 Dwelling Units per hectare of Land; and
j) The minimum setback from an Interior or Exterior Side Parcel Line shall be 2 meters”;
5. Figure 10.11.1 is deleted and replaced with the following:

FIGURE 10.11.1: PLAN OF AREAS A, B, and C OF THE LOW DENSITY RESIDENTIAL (R-3-A) ZONE



Citation

- 2. This Bylaw may be cited for all purposes as "Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2024, No. 2171".

READ A FIRST TIME on the 7th day of May, 2024

READ A SECOND TIME on the 7th day of May, 2024

PUBLIC HEARING held in accordance with section 464 of the *Local Government Act* on the _____ day of _____, 2024

READ A THIRD TIME on the _____ day of _____, 2024

APPROVED BY THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE on the _____ day of _____, 2024

ADOPTED on the _____ day of _____, 2024

Mayor (A. Stone)

Corporate Officer (S. Bouma)

SCHEDULE A

17.8 COMPREHENSIVE DEVELOPMENT 8– HOLLAND CREEK MIXED-USE RESIDENTIAL (CD-8)

The purpose of the Comprehensive Development 8 Zone is to accommodate mixed-use residential neighbourhoods with a range of housing options and densities and local commercial services.

1. Principal Uses

- a) *Multiple Unit Dwelling*
- b) *Single Unit Dwelling*
- c) *Townhouse Dwelling*
- d) *Two Unit Dwelling*

2. Accessory Uses

- a) *Artist Studio*
- b) *Bakery*
- c) *Coach House* subject to Part 6, Section 6.5
- d) *Coffee Shop*
- e) *Community Care Facility*
- f) *Convenience Store*
- g) *Cottage Industry*
- h) *Home Based Business*, subject to Part 6, Section 6.8.
- i) *Office*
- j) *Personal Service Establishment*
- k) *Retail Sales*
- l) *Secondary Suite* subject to Part 6, Section 6.4.

3. Sizing and Dimension of Parcels

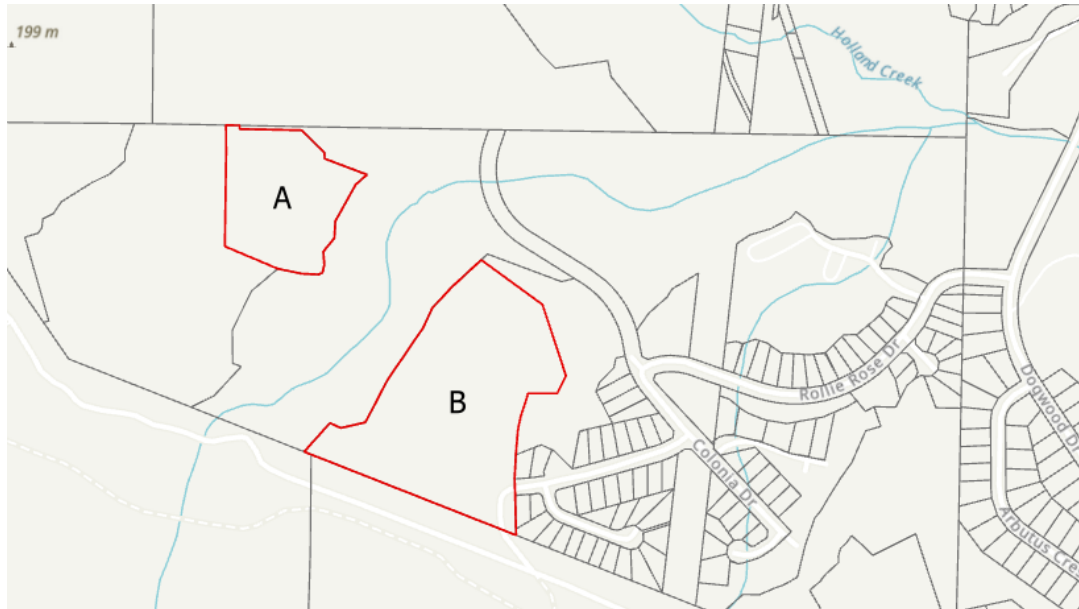
- a) No Parcel for a Single Unit Dwelling Use shall be created which has a Parcel Area less than 372 square metres in area.
- b) No Parcel for a Two Unit Dwelling, Townhouse Dwelling or Multiple-Unit Dwelling Use shall be created which has a Parcel Area less than 780 square metres in area.
- c) No Parcel shall be created which has a Frontage of less than 12.19 metres.

4. Size and Density of the Use of Land, Buildings and Structures

- a) For a Single Unit Dwelling section 10.4.4. "Size and Density of the Use of Land, Buildings and Structures" of Section 10.4 "Single Dwelling Residential – Small Lot B Zone (R-1-B)" shall apply.
- b) For a Two Unit Dwelling section 10.6.4. "Size and Density of the Use of Land, Buildings and Structures" of Section 10.6 "Old Town Residential (R-2)" shall apply.
- c) For a Multiple-Unit Dwelling or a Townhouse Dwelling the Floor Space Ratio shall not exceed 2.0.

- d) Notwithstanding subsections 17.8(4) (a), (b) and (c), the maximum number of *Dwelling Units* permitted in this zone shall not exceed:
 - i. 100 units in Area A as shown in Figure 17.8.1; and
 - ii. 400 units in Area B as shown in Figure 17.8.1

FIGURE 17.8.1



- e) The maximum Parcel Coverage of all Buildings and/or Structures, excluding *Buildings* or *Structures* used exclusively for off-street parking, shall be 50.0 percent.
- f) Where at least 50% of required off-street parking is provided underground, the maximum Parcel Coverage of all Buildings and/or Structures, excluding Buildings or Structures used exclusively for off-street parking, shall be 60.0 percent.
- g) No commercial use shall have a *Gross Floor Area* greater than 200 square metres.
- h) The combined *Floor Space Ratio* for all commercial uses on a *Parcel* shall not exceed 0.5.
- i) Commercial uses may only be located on the *First Storey* of a Building.
- j) A *Parcel* may contain more than one *Principal Building*.
- k) Despite subsection 17.8(4)(j) a parcel less than 780 square meters shall not contain more than one *Principal Building*

5. Siting, Sizing and Dimension of Uses Buildings and Structures

- a) No *Multi-Family Building* shall exceed a Height of 14 metres.
- b) No *Single-Unit or Two-unit Building* shall exceed a Height of 9.0 metres
- c) Despite subsection (b), where the roof pitch of a *Single-Unit or Two-unit* is less than 4:12, the maximum Height shall be 7.5 metres.
- d) No *Accessory Building or Structure* shall exceed a Height of 7.5 metres; except where the roof pitch is less than 4:12, in which case the maximum shall be 5.0 metres.
- e) No *Principal Buildings or Structures* shall be located closer to the *Parcel Line* than the minimum setback shown in the Table below:

Parcel Line	Minimum Setback
Front Parcel Line	6.0 metres
Interior Side of Parcel (Single-unit dwelling or Two-unit dwelling)	2.0 Metres
Exterior Side of Parcel (Single-unit dwelling or Two-unit dwelling)	2.5 metres
Exterior/Interior Side of Parcel (multiple-unit dwelling)	4.5 metres
Rear Parcel Line	4.5 metres

- f) No Accessory Building or Structure shall be located closer to the Parcel Line than the minimum Setback shown in the Table below:

Parcel Line	Minimum Setback
Front Parcel Line	6.0 metres
Interior or Exterior Side Parcel Line	1.5 metre
Rear Parcel Line	1.5 metre

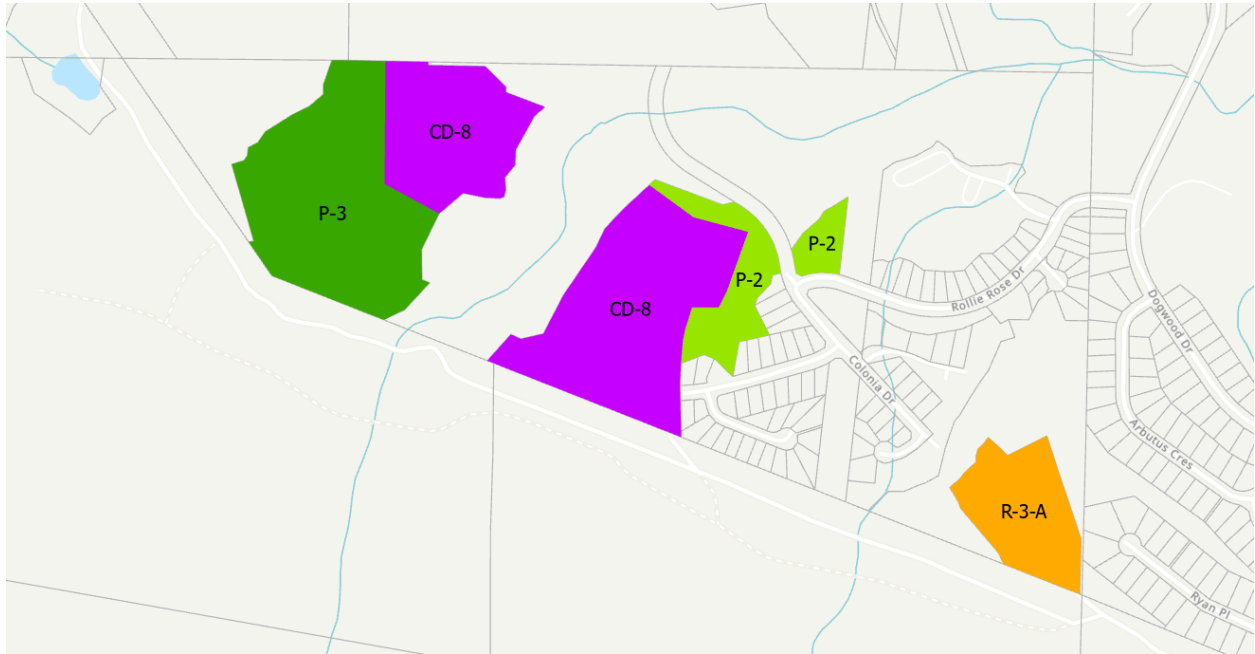
6. Landscaping and Screening

- a) *Landscaping* and screening shall be provided in accordance with Part 7: Landscaping and Screening Regulations.

7. Parking and Loading

- a) *Off-street* parking and off-street loading shall be provided in accordance with Part 8: Parking and Loading Regulations.

Schedule B: Proposed Zoning





MINUTES OF A REGULAR MEETING OF COUNCIL

Tuesday, May 7, 2024

6:31 P.M.

Ladysmith Seniors Centre
630 2nd Avenue

Council Members Present:

Mayor Aaron Stone
Councillor Ray Gourlay
Councillor Amanda Jacobson
Councillor Tricia McKay

Councillor Duck Paterson
Councillor Marsh Stevens
Councillor Jeff Virtanen

Staff Present:

Allison McCarrick
Erin Anderson
Chris Barfoot
Jake Belobaba

Ryan Bouma
Sue Bouma
Andrea Hainrich

1. CALL TO ORDER

Mayor Stone called this Meeting of Council to order at 6:31 p.m., in order to retire immediately into Closed Session.

2. CLOSED SESSION

CS 2024-081

That, in accordance with section 90(1) of the *Community Charter*, Council retire into closed session in order to consider items related to the following:

- (e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality; and
- (k) negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public.

Motion Carried

3. OPEN MEETING AND ACKNOWLEDGEMENT (7:00 P.M.)

Mayor Stone called this Regular Meeting of Council to order at 7:10 p.m., recognizing with gratitude that it was taking place on the unceded territory of the Stz'uminus First Nation.

Councillor Gourlay congratulated 14-year-old Ladysmith Orcas Swim Club member, Colton Gonzales, for qualifying to compete in the upcoming Olympic Trials in Toronto.

4. AGENDA APPROVAL

CS 2024-082

That Council approve the agenda for this Regular Meeting of Council for May 7, 2024.

Motion Carried

5. RISE AND REPORT- Items from Closed Session

Council rose from Closed Session at 6:57 p.m. without report.

6. MINUTES

6.1 Minutes of the Regular Meeting of Council held April 16, 2024

CS 2024-083

That Council approve the minutes of the Regular Meeting of Council held April 16, 2024.

Motion Carried

7. DELEGATIONS

7.1 Nikki Toxopeus and Joanne Sales - Broombusters and Friends of Holland Creek Trail

Nikki Toxopeus of Broombusters and Friends of Holland Creek, and Joanne Sales of Broombusters discussed the ecological pressures in the Holland Creek area and requested continued support for their volunteers. They also asked Council to consider adopting a bylaw that would help control the spread of invasive species and advised that developing a Memorandum of Understanding with FortisBC and BC Hydro could help keep rights-of-way free of broom. They responded to Council's questions.

Mayor Stone thanked the group for their work and expressed Council's desire to find the best balance for all involved.

7.2 Ladysmith Secondary School Improv Team - Presentation to Council

Ladysmith Secondary School teacher, Bill Taylor, and students Caidence Burns and Isabel Barclay, members of the Ladysmith Secondary School Improv Team, thanked Council for the grant-in-aid which allowed them to take part in the Canadian Improv finals in Ottawa where they placed 6th overall.

Mayor Stone and Council thanked the team for their presentation and wished them continued success.

8. PROCLAMATIONS

8.1 National Public Works Week

Mayor Stone has proclaimed May 19-25, 2024 as "National Public Works Week" in the Town of Ladysmith.

9. RECESS

CS 2024-084

By unanimous consent Council recessed at 7:58 p.m. with the intention to reconvene in five minutes.

Motion Carried

Council reconvened at 8:03 p.m.

10. BYLAWS - OFFICIAL COMMUNITY PLAN & ZONING

10.1 OCP and Zoning Amendment Lot A Holland Creek

CS 2024-085

That Council:

1. Having considered s. 475 of the *Local Government Act*, and in particular the matters set out in subsections (2)(a) and (b), resolve that:
 - a. the Stz'uminus First Nation, and School District 68 are the only entities that are appropriate to consult in connection with

- “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2024, No. 2170”;
- b. consultation should be early but need not be ongoing;
 - c. the consultation process described in the staff report to Council dated May 7, 2024 is sufficient in respect to the proposed Official Community Plan amendment; and
 - d. staff be directed to refer “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2170” to the Stz’uminus First Nation as set out in resolution 1 for consultation in the manner described in the May 7, 2024 staff report to Council;
2. Give first and second readings to “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2024, No. 2170”;
 3. Consider “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2024, No. 2170” in conjunction with the Town’s Financial Plan, the Town’s Liquid Waste Management Plan, and the Cowichan Valley Regional District Solid Waste Management Plan, pursuant to section 477(3) of the *Local Government Act*;
 4. Consider “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2024, No. 2170” in conjunction with the Town’s Housing Needs Report and the housing information on which the report is based, pursuant to section 473(2.1) of the *Local Government Act*;
 5. Direct staff to refer “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2024, No. 2170” to School District 68 pursuant to section 476 of the *Local Government Act*;
 6. Give first and second readings to “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2024, No. 2171”;
 7. Direct staff to refer “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2024, No. 2171” to the Ministry of Transportation and Infrastructure, after third reading of the bylaw, pursuant to section 52 of the *Transportation Act*;
 8. Require that, as a condition of approval of Bylaws 2170 and 2171 the applicant be required to secure the following conditions through a covenant and/or statutory right of way, as described in the May 7,

2024 report to Council, following third reading and prior to adoption of the bylaws:

- a. Dedication as parkland, at time of subdivision or development, of the areas to be zoned P-2 and P-3 under Bylaw 2170;
 - b. Town access to future park areas prior to dedication for the purposes of invasive plant removal and habitat enhancement;
 - c. Construction of a bus shelter meeting BC Transit's "E2" standard or similar at the existing northbound stop at the Holland Creek Ball Fields;
 - d. Installation of the necessary electrical infrastructure for all required multi-family parking to be "EV charger Ready";
 - e. A requirement for a minimum of 10% of dwelling units to meet the BC Building Code, Building Access Handbook;
 - f. A prohibition on the use of fossil fuel as a primary heating source for buildings;
 - g. Dedication and construction of a direct emergency vehicle access/egress and pedestrian trail from the "Centre Parcel" to Colonia Drive when the "Centre Parcel" is developed;
 - h. A prohibition on planting non-native plants on the "Western Parcel";
 - i. Wildfire protection measures on the "Western Parcel" and "Centre Parcel" as recommended in the report provided as Attachment H to the May 7, 2024 report to Council; and
 - j. A prohibition on clearing between March 1 and August 31;
9. Direct that, as a condition of approval of Bylaws 2170 and 2171, that the following amendments be made to covenant CA6857592, as described in the May 7, 2024 report to Council, following third reading and prior to adoption of the bylaws:
- a. Removing the requirement to construct the "South Crossing" over Heart Creek;
 - b. Amending the 'Local Site Triggers' and 'Neighborhood Cumulative Triggers' to:
 - i. Allow construction of up to 100 units on the "Eastern Parcel" provided the developer improves the existing emergency access route to Ryan Place;
 - ii. Allow construction of up to 200 units on the "Centre Parcel" provided the developer completes the design and costing of the Colonia Drive extension from the boundary of Lot A District Lot 110 Oyster District Plan VIP75849 to Thetis Drive

and prohibiting more than 200 units on the "Centre Parcel" until the Colonia Drive extension is constructed to the boundary of Lot A, and

- iii. Adding a prohibition on the development of the "Western Parcel" until:
 - 1. Colonia Drive is fully constructed to connect Malone Road to Thetis Drive;
 - 2. a dedicated multi-use trail and emergency access/egress route is constructed over the "Western Parcel" and adjacent parkland, connecting public road to the Water Treatment Plant access road; and
 - 3. a pedestrian pathway and crossing over Heart Creek is constructed connecting the southern portions of the "Centre Parcel" and "Western Parcel";

10. Require that the legal instruments under resolutions 8 and 9 be prepared by the Town's solicitor at the cost of the applicant; and

11. Direct staff to proceed with scheduling and notification of a public hearing for Bylaws 2170 and 2171 pursuant to section 464(1) of the *Local Government Act*.

Motion Carried

11. REPORTS

11.1 Stocking Lake Supply Main Preliminary Design Consultant Award

CS 2024-086

That Council authorize staff to sole source the Stocking Lake Supply Main preliminary design work to Koers & Associates Engineering Ltd.

Motion Carried

11.2 Reassignment of Approved Capital funds

CS 2024-087

That Council:

1. Cancel the following capital projects and transfer the budgeted funds to the pavement operations budget:
 - Single Area Traffic Study for \$49,000;
 - Radar Speed Signs for \$35,000; and
 - Bollards on 1st Avenue for \$30,000.
2. Amend the 2024-2028 Financial Plan accordingly.

CS 2024-088

AMENDMENT

That Council amend item 1 of resolution CS 2024-087 to replace “cancel the following capital projects” with “refer the following capital projects to a future year’s budget”.

Amendment Carried

Resolution CS 2024-087, as amended, reads:

That Council:

1. Refer the following capital projects to a future year’s budget and transfer the budgeted funds to the pavement operations budget:
 - Single Area Traffic Study for \$49,000;
 - Radar Speed Signs for \$35,000; and
 - Bollards on 1st Avenue for \$30,000.
2. Amend the 2024-2028 Financial Plan accordingly.

Main Motion, as Amended, Carried

11.3 Mosaic Emergency Road Use Agreement Amendment

CS 2024-089

That Council authorize the Corporate Officer to sign a Road Use Agreement Amendment with Mosaic Forest Management Corp. for the purposes of emergency access from 4th Avenue via the Ladysmith Main logging road.

Motion Carried

11.4 Canoe Procurement Group Membership

CS 2024-090

That Council:

1. Authorize staff to maintain membership with Canoe Procurement Group; and
2. Direct staff to consider and use Canoe for all applicable purchases.

Motion Carried

12. BYLAWS

12.1 Bylaws for Adoption

12.1.1 "Property Tax Rates Bylaw 2024, No. 2175"

CS 2024-091

That Council adopt "Property Tax Rates Bylaw 2024, No. 2175".

Motion Carried

12.1.2 "Sewer Parcel Tax Bylaw 2024, No. 2176"

CS 2024-092

That Council adopt "Sewer Parcel Tax Bylaw 2024, No. 2176".

Motion Carried

12.1.3 "Water Parcel Tax Bylaw 2024, No. 2177"

CS 2024-093

That Council adopt "Water Parcel Tax Bylaw 2024, No. 2177".

Motion Carried

12.2 Bylaw Status Sheet

13. CORRESPONDENCE

13.1 14th Annual Chamber of Commerce Charity Golf Tournament

CS 2024-094

That Council allocate \$250.00 to sponsor a hole at the 14th Annual Chamber of Commerce Charity Golf Tournament on June 14, 2024 as requested in the correspondence received April 23, 2024.

Motion Carried

13.2 Rocky Creek Ventures Inc. Subdivision and Street Naming Request

CS 2024-095

That Council approve the request by Rocky Creek Ventures Inc., in their correspondence dated April 23, 2024, to name the 1301 Rocky Creek Road subdivision "Rocky Creek Estates" and the street, "Marina View Drive."

CS 2024-096

AMENDMENT

That Council amend resolution CS 2024-095 to remove approval of the subdivision name.

Amendment Carried

Resolution CS 2024-095, as amended, reads:

That Council approve the request by Rocky Creek Ventures Inc., in their correspondence dated April 23, 2024, to name the 1301 Rocky Creek Road subdivision street "Marina View Drive."

Main Motion, as Amended, Carried

14. QUESTION PERIOD

A resident asked about the public hearing process in item 10.1 and requested clarification about the traffic study in item 11.1.

15. ADJOURNMENT

CS 2024-097

That Council adjourn this Regular Meeting of Council at 9:06 p.m.

Motion Carried

CERTIFIED CORRECT

Mayor (A. Stone)

Corporate Officer (S. Bouma)



MINUTES OF A SPECIAL MEETING OF COUNCIL

Tuesday, May 14, 2024

5:30 P.M.

Ladysmith Seniors Centre
630 2nd Avenue

Council Members Present:

Mayor Stone
Councillor Gourlay
Councillor Jacobson
Councillor McKay

Councillor Paterson
Councillor Stevens
Councillor Virtanen

Staff Present:

Allison McCarrick
Erin Anderson
Chris Barfoot
Jake Belobaba
Ryan Bouma

Chris Geiger
Michele Gill
Sue Bouma
Andrea Hainrich

1. CALL TO ORDER AND ACKNOWLEDGEMENT

Mayor Stone called this Special Meeting of Council to order at 5:30 p.m. and acknowledged with gratitude that it was being held on the unceded territory of the Stz'uminus First Nation.

2. AGENDA APPROVAL

CS 2024 -098

That Council approve the agenda for this Special Meeting of Council for May 14, 2024.

Motion Carried

3. REPORTS

3.1 Infrastructure Extension Request: Small Scale Multi-Unit Housing Bylaw Amendments

CS 2024 -099

That Council direct staff to submit an application to the Minister of Housing seeking an extension until December 31, 2030, to implement the Province's Small Scale Multi-Unit Housing requirements pursuant to section 786 of the *Local Government Act*, for the areas described in the May 14, 2024, report to Council.

Motion Carried

3.2 Alternative Approval Process Confirmation – City Hall

CS 2024 -100

That Council:

1. Confirm its direction to staff to carry out an Alternative Approval Process to obtain elector approval to build a new City Hall including Institutional/Commercial space below a housing development on Town-owned lands at 1st Avenue and Buller Street;
2. Establish the deadline for receiving elector responses as 4:00 p.m. on June 25, 2024 (33 days);
3. Establish that the elector response form will be the single elector response form;
4. Approve the total number of electors of the Town of Ladysmith to which the approval process applies is 741; and
5. Direct staff to report the results of the Alternative Approval Process to Council.

Motion Carried

OPPOSED: Councillor Stevens

4. ADJOURNMENT

CS 2024 -101

That this Special Meeting of Council be adjourned at 6:08 p.m.

Motion Carried

CERTIFIED CORRECT

Mayor (A. Stone)

Corporate Officer (S. Bouma)



LADYSMITH

TOWN OF LADYSMITH

PROCLAMATION

- WHEREAS:** *National AccessAbility Week is a week for Canadians to promote inclusion and accessibility in our communities and workplaces, to celebrate our progress and to be inspired to further break down accessibility barriers; and*
- WHEREAS:** *Individuals with disabilities are impacted daily by barriers to information, facilities, employment, transportation and communication supports, therefore negatively challenging an individual's ability to fully participate in community life; and*
- WHEREAS:** *Accessibility and inclusion are essential for ensuring that all community members have equity in opportunities and the ability to fully participate in community life.*
- THEREFORE,** *I, Aaron Stone, Mayor of the Town of Ladysmith, do hereby proclaim May 26 – June 1, 2024 as “National AccessAbility Week” in the Town of Ladysmith, British Columbia.*

Mayor A. Stone

May 16, 2024

STAFF REPORT TO COUNCIL

Report Prepared By: Andrew Wilson, Planner
Reviewed By: Jake Belobaba, RPP, MCIP, Director of Development Services
Meeting Date: May 21, 2024
File No: 3090-24-02 and 3060-22-14
RE: Development Variance Permit 3090-24-02 and Development Permit 3060-22-14 – 670 Farrell Road

RECOMMENDATION:

That Council:

1. Issue Development Variance Permit 3090-24-02 to vary section 10.11.5 (a) of “Town of Ladysmith Zoning Bylaw 2014, No. 1860” to increase the maximum height of five proposed buildings from 10.0m to 16.8m at 670 Farrell Road (Lot 12, District Lot 41, Oyster District, Plan EPP119981; PID: 032-050-844 as follows:
 - Building 4 to a maximum height of 11.0 metres;
 - Building 6 to a maximum height of 12.4 metres;
 - Building 7 to a maximum height of 11.5 metres;
 - Building 8 to a maximum height of 15.7 metres; and
 - Building 9 to a maximum height of 16.8 metres.

2. Issue Development Permit 3060-22-14 to allow construction of a 54-unit townhouse and multi-family development at 670 Farrell Road.

EXECUTIVE SUMMARY:

The purpose of this report is to introduce a proposal to construct 54 residential units at 670 Farrell Road consisting of three four-unit townhouse dwellings, four three-unit townhouse dwellings, and two four-storey, fifteen-unit apartment buildings for Council consideration. The proposed development requires a development variance permit and development permit.

The applicant is requesting a variance to increase the height of three of the townhouse buildings from 10 metres to 12.4 metres and two multi-unit buildings from 10.0 metres to 16.8 metres.

Staff recommend approval of DVP 3090-24-02 (Attachment B) based on analysis of the impacts. Staff recommend approval of DP 3060-22-14 (Attachment C) based on consistency with the Multi-Unit Residential - Development Permit Area 4 and Hazard Lands - Development Permit Area 7 guidelines.

PREVIOUS COUNCIL DIRECTION:

N/A

INTRODUCTION/BACKGROUND:

Subject property

The subject property is a 14,568.7 square metre (1.46 ha.) parcel located at 670 Farrell Road. The property is currently designated Multi-Family Residential under the “Official Community Plan Bylaw 2022, No. 2200” (OCP), zoned R-3-A under the “Town of Ladysmith Zoning Bylaw 2014, No. 1860” and falls within the Multi-Unit Residential (DPA 4) and Hazard Lands (DPA 7) development permit areas. The property is an undeveloped greenfield site with second growth forest and rocky outcrops. The land slopes approximately 23m upward from Farrell Road south to Stringer Way. Adjacent land uses include: the Trans-Canada Highway on the north side, an undeveloped forested property designated as Urban Reserve on the east side, a multi-family development on the west side, and a new suburban development on the south side which was recently subdivided from the subject property.

Three townhouse buildings are accessed from the eastern end of Farrell Road. Four townhouse buildings and two multi-unit apartment buildings are accessed from Stringer Way to the south. As part of the conditions for subdivision, the applicant(s) constructed an emergency access connecting Stringer Way with Farrell Road.

A map of the subject property is provided in Attachment A, conceptual renderings are provided in Attachment D, and Site Sections are provided in Attachment E.

PROPOSAL:

The applicant proposes to construct a total of 54 residential units - three four-unit townhouse dwellings, four three-unit townhouse dwellings, and two four-storey fifteen-unit apartment buildings. Details of the site plan and building design are provided in Attachments B and D. The application includes height variances to five of the nine principal buildings. These variances are summarized below.

A summary of the proposed variance is provided in Table 1, below.

Table 1: Summary of proposed variance

Zoning Regulation	Permitted Height	Building No.	No. of Units	No. of Storeys	Proposed Height	Variance Required	Proposed Variance
Principal building height of R-3-A Zone	Maximum 10.0m	Building 1	4	3 storeys + rooftop patio access	9.38m	No	n/a
		Building 2	4	3 storeys + rooftop patio access	9.71m	No	n/a

		Building 3	4	3 storeys + rooftop patio access	9.74m	No	n/a
		Building 4	3	3 storeys + rooftop patio access	10.56m	Yes	11.0m
		Building 5	3	3 storeys + rooftop patio access	9.75m	No	n/a
		Building 6	3	3 storeys + rooftop patio access	12.01m	Yes	12.4m
		Building 7	4	3 storeys + rooftop patio access	11.11m	Yes	11.5m
		Building 8	15	4 storeys + under-ground parking	15.17m	Yes	15.7m
		Building 9	15	4 storeys + under-ground parking	16.29m	Yes	16.8m

If approved, DVP 24-02 will vary the maximum height for a principal building from 10m to 16.8m for the subject property and as specified on the Permit as follows:

- Building 4 to a maximum height of 11.0 metres;
- Building 6 to a maximum height of 12.4 metres;
- Building 7 to a maximum height of 11.5 metres;
- Building 8 to a maximum height of 15.7 metres; and
- Building 9 to a maximum height of 16.8 metres.

The proposed development complies with all other regulations of the R-3-A zone.

In accordance with the OCP, a DP is required prior to construction as the property is also located within Development Permit Area 4 (DPA 4) – Multi-Unit Residential and DPA 7 – Hazard Lands.

A letter of rationale from the applicant is provided as Attachment F.

ANALYSIS:

For the reasons outlined below, staff recommend the proposal be approved.

Official Community Plan

The subject property is located in the Multi-Family land use designation in the OCP. Multi-family areas provide for greater diversity and density of multi-family residential types and tenures. Taller buildings of up to six storeys are supported by this designation. The proposed multi-family development is consistent with the OCP designation. The property is also located

within DPA 4 – Multi-Unit Residential and DPA 7 – Hazard Lands under the OCP, which therefore requires a DP.

The following OCP policies are relevant to the proposal:

Policy 2.3 Land Use Designation Policies:

- u. The built form of this designation should be buildings up to six storeys, with upper storeys stepped back.
- v. Minimum FSR should be 1.0. Maximum FSR should be 2.2.

Policy 2.4 General Land Use Policies:

- a. Avoid urban sprawl, which is the low-density, predominantly single-use expansion of urban areas that are disconnected from core growth areas and are typically on greenfield sites.
- u. Encourage underground parking for major developments.

Zoning Bylaw

The subject property is zoned R-3-A in the Zoning Bylaw. The R-3-A zone permits a maximum building height of 10.0m. Five of the proposed buildings range from 10.56m (Building 4) to 16.29m (Building 9) tall, therefore a variance is required. The proposal meets all other Zoning Bylaw regulations.

Variance Proposal

The applicant is requesting to vary the height of three townhouse buildings from 10.0m to 12.4m and the two multi-unit buildings from 10.0m to 16.8m. The increase in height is to accommodate the site topography, minimize site impact, and increase overall density of the project.

Townhouse buildings 4, 6, and 7 are located in the mid-slope development phases 3 and 4. This area has steeper slope conditions than all other areas on the parcel. Townhouses are designed with three storeys including a half lower storey for the garages. The proposed rooftop patio staircase access accounts for 2.7m of the additional height for each townhouse building. Four of seven townhouse buildings comply with the maximum height regulations and do not require a variance. The proposed location of these buildings does not impact views of other units.

The proposed variances for apartment buildings 8 and 9 are to facilitate a fourth storey for increased units and underground parking for each building. The proposed elevation of the two buildings is approximately 13.3m above grade at the cul-de-sac at the end of Stringer Way.

Staff recommend that the variance be approved since the height increase aligns with OCP policies, including encouraging buildings of up to six stories, and will facilitate the following:

- provides less site impact given the challenging topography and geology;
- allows for more residential units in the multi-family buildings and in the overall proposal;
- accommodates underground parking in both apartment Buildings 8 and 9; and

- provides more private outdoor amenity space for the townhouse buildings including vertical and rooftop gardening potential.

Based on the analysis, staff do not expect negative impacts from the proposed variance, and therefore, recommend approval of DVP 24-02.

Development Permit Guidelines

The proposal is subject to the requirements of DPA 4 – Multi-Unit Residential and DPA 7 – Hazard Lands. The purpose of DPA 4 is to achieve a high level of design for multi-unit development, to enhance the Town’s neighbourhood, and to ensure that development is complementary to the existing character of Ladysmith.

The purpose of DPA 7 is to prevent land slippage and sloughing, safeguard private property from potential damage, minimize disruption to slope stability, and prohibit development from occurring in areas where slope instability hazards exist.

Attachment G provides a detailed review of the proposal in the context of the DPA 4 and DPA 7 guidelines. Highlights of the proposal include:

- Design featuring neo-traditional contemporary elements;
- Wood-look light grey hardiplank siding and red brick veneer on the apartment buildings;
- Three townhome design schemes for the exterior finishes providing a variation of colours of board and batten hardie panel, longboard wood-look aluminum siding, cultured stone cladding around the garage doors, and Douglas fir timber accents;
- Underground parking for the apartment units;
- Shared amenity spaces, including play equipment, fitness equipment, and resting viewpoint areas;
- A pedestrian connection through the development connecting buildings with the surrounding street network;
- Landscape plan, prepared by a landscape architect, featuring native and drought tolerant plants and high-efficiency irrigation;
- Bike storage and outdoor bicycle parking;
- 6 EV charging stations;
- A Geotechnical Assessment stating the development is considered safe as proposed, provided recommendations are followed; and
- Recommendations for safe construction and development best practices as described in the Geotechnical Assessment report and Erosion and Sediment Control Plan, attached to the development permit as Schedules H and J.

Staff recommend that the DP be issued since the proposal is generally consistent with the DPA 4 and DPA 7 guidelines. The permit contains a requirement for security to ensure that landscaping requirements are followed.

ALTERNATIVES:

Council can choose to:

1. Not issue DVP 3090-24-02 and refer DP 3060-22-14 back to staff.
2. Not issue DP 3060-22-14 and specify the reasons for refusal citing specific development permit guidelines.
3. Defer consideration of the application and refer the proposal to a subsequent meeting of Council.
4. Amend the conditions of the proposed permits and approve the issuance of the permits as amended.
5. Refer the application back to staff for further review, as specified by Council.

FINANCIAL IMPLICATIONS:

N/A

LEGAL IMPLICATIONS:

Standard requirements for Council consideration and referrals under provincial legislation have been accounted for in staff’s review and processing of the application and in the recommendations of this report.

The *Local Government Act* allows Council to vary Zoning Bylaw regulations (excluding regulations for use, density and rental tenure) through issuance of a DVP. Development Variance Permits are discretionary decisions of Council, and Council has no obligation to approve the proposed variance. If the proposed variance is denied, the proposed Development Permit must either be approved as amended (see Alternative 4) or denied. If only the Development Permit is refused, reasons must be given based on the DPA 4 or DPA 7 Guidelines as the issuance of a DP is not a completely discretionary decision of Council.

CITIZEN/PUBLIC RELATIONS IMPLICATIONS:

Mail notification for the proposed development variance permit pursuant to section 499 of the *Local Government Act*, was carried out on May 10, 2024. The notice was mailed and delivered to property owners/residents within 60m of the subject property. No written submissions were received prior to the time of writing.

INTERGOVERNMENTAL REFERRALS:

N/A

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS:

The application was circulated amongst Town departments for review. Their comments are summarized below:

Table 2: Department Comments

Referred (Yes/No)	Department	Comments
----------------------	------------	----------

Yes	Infrastructure Services	The applicant amended design plans and provided additional information in response to all Engineering concerns.
Yes	Building Inspection	Buildings were sited to comply with all BC Building Code and Town requirements. Additional changes can be addressed during the Building Permit stage.
No	Parks Recreation and Culture	N/A
No	Financial Services	N/A
No	Legislative Services/Corporate Services	N/A
Yes	Fire/Protective Services	Concerns of fire access turning lanes, slopes, and fire access distances were all reviewed. Site plans were amended to meet Town requirements.

COMMUNITY PLANNING ADVISORY COMMITTEE (CPAC) REVIEW:

Under CPAC Terms of Reference a CPAC review of this application is not required.

ALIGNMENT WITH STRATEGIC PRIORITIES:

- Core Infrastructure
 Economy
 Official Community Plan Implementation
 Leadership
 Waterfront Area Plan
 Not Applicable

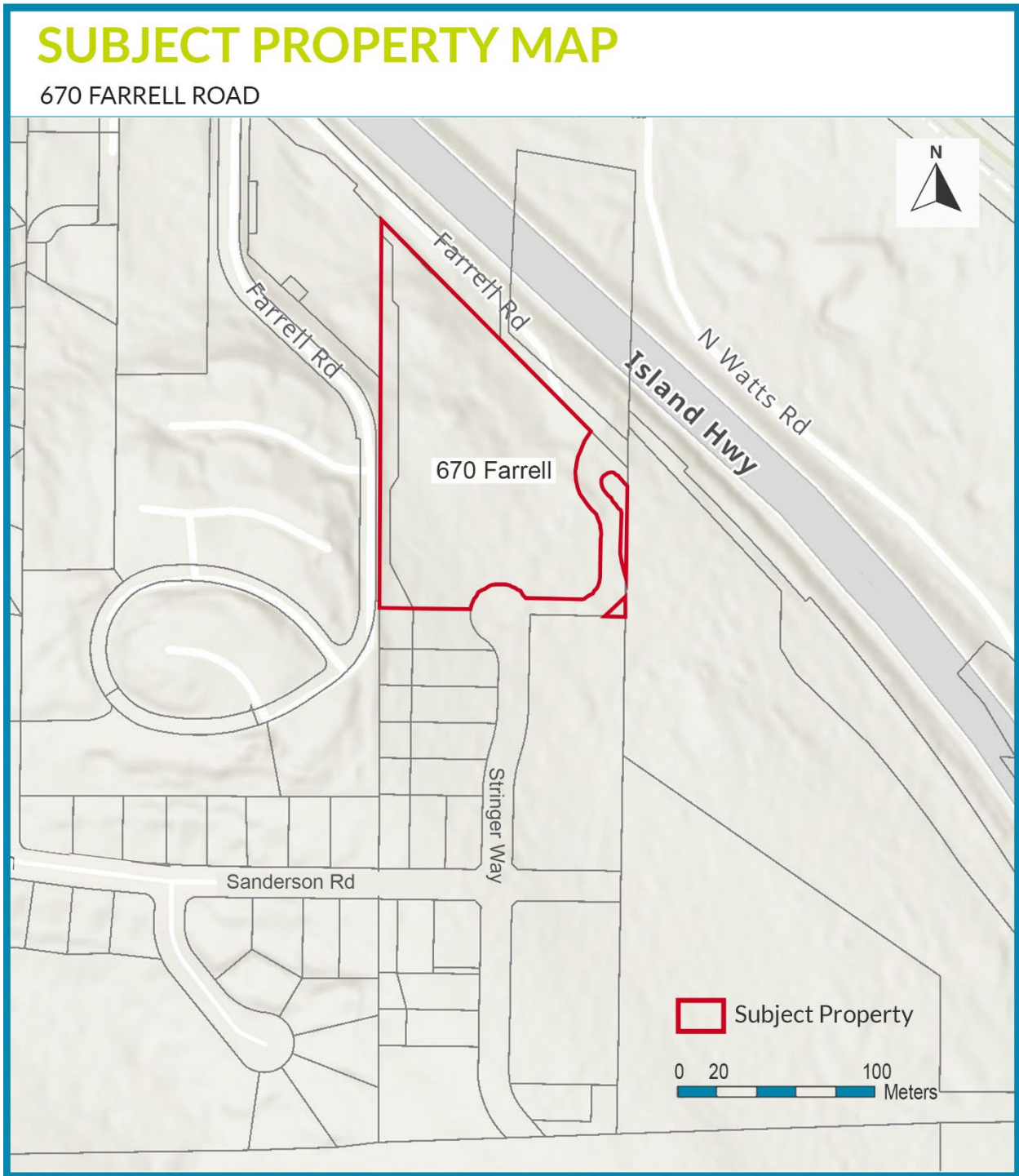
I approve the report and recommendation(s).

Allison McCarrick, Chief Administrative Officer

ATTACHMENTS:

- A. Subject Property Map
- B. Draft DVP 3090-24-02
- C. Draft DP 3060-22-14
- D. Conceptual Renderings
- E. Site Sections
- F. Applicant Letter of Rationale
- G. Review of DPA Guidelines

ATTACHMENT A





**TOWN OF LADYSMITH
DEVELOPMENT VARIANCE PERMIT**

(Section 498 Local Government Act)

FILE NO: 3090-24-02

DATE: May 21, 2024

Name of Owner(s) of Land (Permittee): Arkell Apartments Ltd., Inc. No. BC1453834

Applicant: Adam Kelln, Robyn Kelln, Gustavo Da Roza (G3 Architecture Inc.)

Subject Property (Civic Address): 670 Farrell Road

1. This Development Variance Permit is issued subject to compliance with all of the bylaws of the Town of Ladysmith applicable thereto, except as specifically varied or supplemented by this Permit.

2. This Development Variance Permit applies to and only to those lands within the Town of Ladysmith described below and any and all buildings, structures, and other development thereon:

**Lot 12, District Lot 41 Oyster District Plan EPP119981
PID: 032-050-844
(670 Farrell Road)
(referred to as the "Land)**

3. Section 10.11.5 a) of the "Low Density Residential (R-3-A)" zone of the "Town of Ladysmith Zoning Bylaw 2014, No. 1860", as amended, is varied for the Land by increasing the *Height of a Principal Building* from 10.0 metres to 16.8 metres to allow for the construction of three *Townhouse Dwellings* and two *Multiple-Unit Dwellings* as shown in **Schedule A – Site Plan** and **Schedule B – Elevation Plans** and as follows:

- Building 4 to a maximum height of 11.0 metres;
- Building 6 to a maximum height of 12.4 metres;
- Building 7 to a maximum height of 11.5 metres;
- Building 8 to a maximum height of 15.7 metres; and
- Building 9 to a maximum height of 16.8 metres.

4. The land described herein shall be developed strictly in accordance with terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part thereof.

5. Notice of this Permit shall be filed in the Land Title Office at Victoria under s.503 of the *Local Government Act*, and upon such filing, the terms of this Permit **(3090-24-02)** or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.

6. THIS PERMIT IS NOT A BUILDING PERMIT. No occupancy permit shall be issued until all items of this Development Variance Permit have been complied with to the satisfaction of the Corporate Officer.

AUTHORIZED BY RESOLUTION NO. _____ PASSED BY THE COUNCIL OF THE TOWN OF LADYSMITH ON THE ____ DAY OF _____ 202__.

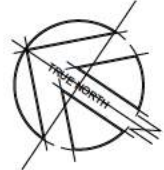
Mayor (A. Stone)

Corporate Officer (S. Bouma)

DRAFT

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

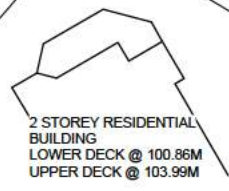
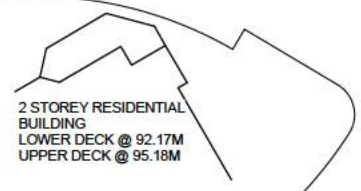
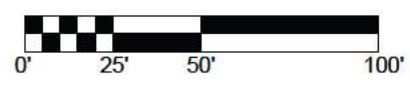
CONTOURS LINE SHOWN ARE FROM EXISTING LIDAR TOPOGRAPHIC INFORMATION PROVIDED FROM SURVEYOR



BUILDING SETBACKS:

BUILDING 1 PROPOSED SETBACKS		
BUILDING SETBACK #1 (FRONT)	19.84 FT	6.05 M
BUILDING SETBACK (REAR)	N/A	
BUILDING SETBACK #2 (SIDE)	20.16 FT	6.14 M
BUILDING SETBACK (SIDE)	N/A	
BUILDING 2 PROPOSED SETBACKS		
BUILDING SETBACK #2 (FRONT)	21.33 FT	6.50 M
BUILDING SETBACK (REAR)	N/A	
BUILDING SETBACK (SIDE)	N/A	
BUILDING SETBACK (SIDE)	N/A	
BUILDING 3 PROPOSED SETBACKS		
BUILDING SETBACK #2 (FRONT)	21.33 FT	6.50 M
BUILDING SETBACK (REAR)	N/A	
BUILDING SETBACK #4 (SIDE)	25.08 FT	7.83 M
BUILDING SETBACK (SIDE)	N/A	
BUILDING 4 PROPOSED SETBACKS		
BUILDING SETBACK (FRONT)	N/A	
BUILDING SETBACK (REAR)	N/A	
BUILDING SETBACK #5 (SIDE)	33.94 FT	10.35 M
BUILDING SETBACK (SIDE)	N/A	
BUILDING 5 PROPOSED SETBACKS		
BUILDING SETBACK (FRONT)	N/A	
BUILDING SETBACK (REAR)	N/A	
BUILDING SETBACK (SIDE)	N/A	
BUILDING SETBACK (SIDE)	N/A	
BUILDING 6 PROPOSED SETBACKS		
BUILDING SETBACK (FRONT)	N/A	
BUILDING SETBACK (REAR)	N/A	
BUILDING SETBACK (SIDE)	N/A	
BUILDING SETBACK (SIDE)	N/A	
BUILDING 7 PROPOSED SETBACKS		
BUILDING SETBACK (FRONT)	N/A	
BUILDING SETBACK #6 (REAR)	17.47 FT	5.33 M
BUILDING SETBACK #7 (SIDE)	31.03 FT	9.46 M
BUILDING SETBACK (SIDE)	N/A	
BUILDING 8 PROPOSED SETBACKS		
BUILDING SETBACK (FRONT)	N/A	
BUILDING SETBACK #8 (REAR)	30.58 FT	9.32 M
BUILDING SETBACK #9 (SIDE)	10.24 FT	3.12 M
BUILDING SETBACK #9 (SIDE)	82.91 FT	25.27 M
BUILDING 9 PROPOSED SETBACKS		
BUILDING SETBACK (FRONT)	N/A	
BUILDING SETBACK (REAR)	N/A	
BUILDING SETBACK #11 (SIDE)	30.00 FT	9.14 M
BUILDING SETBACK (SIDE)	N/A	

**Schedule A - Site Plan
 DVP 3090-24-02
 670 Farrell Road**



NOTE: REFER TO CIVIL ENGINEERED DRAWINGS FOR FIRE TRUCK ACCESS ROUTE MANEUVERABILITY, SIMULATION, ETC...

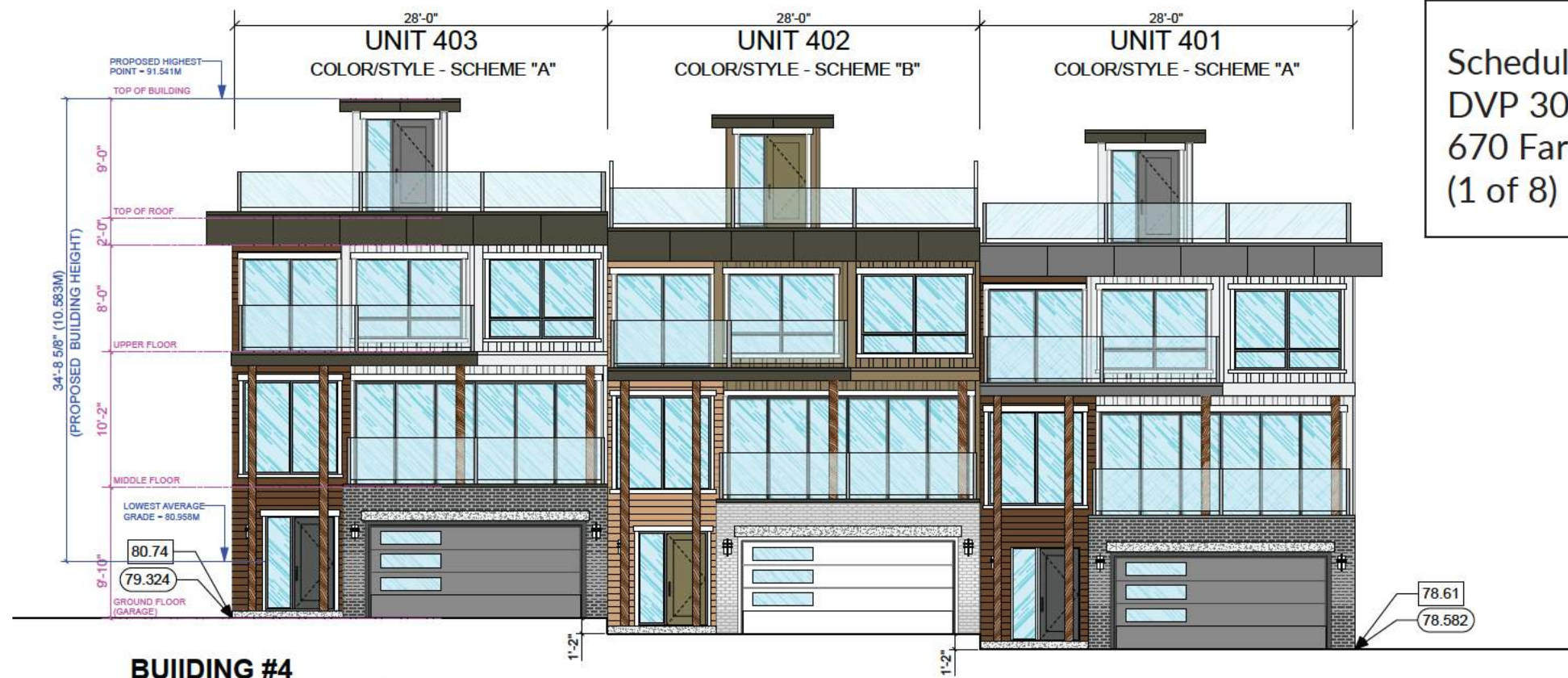
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23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
23/09/16	DEVELOPMENT PERMIT COORDINATION
23/09/25	FINAL DESIGN
23/10/27	DEVT PHASING PLAN
23/12/01	ISSUED FOR DEVELOPMENT PERMIT
24/01/07	SITE FORMATION
24/01/27	MAJOR SITE REVISION PER DP COMMENTS
24/02/01	REVISED PER SITE SURVEY (GRADES) UPDATE
24/02/08	UPDATE SITE SECTIONS
24/02/16	UPDATE SITE PLAN W/FIRE TRUCK PATH
24/03/03	ADD FIRE TRUCK TURNAROUND AND REDUCE SLOPES, REVISED SITE PLAN BLDGS 4, 5, 6, 7, DELETE ONE UNIT
24/03/14	REVISED DRIVEWAYS, RET WALLS, ROAD SLOPES
24/03/29	REVISED BLDG/DRIVEWAYS 1, 2 & 3, REV'D GRADE/HEIGHTS

DO NOT SCALE OFF DRAWING. THIS DRAWING IS NOT FOR CONSTRUCTION PURPOSES UNLESS EXPRESSLY STATED. ALL RIGHTS RESERVED AND REPRODUCTION IN ANY FORM MUST BE APPROVED BY G3 ARCHITECTURE INC.

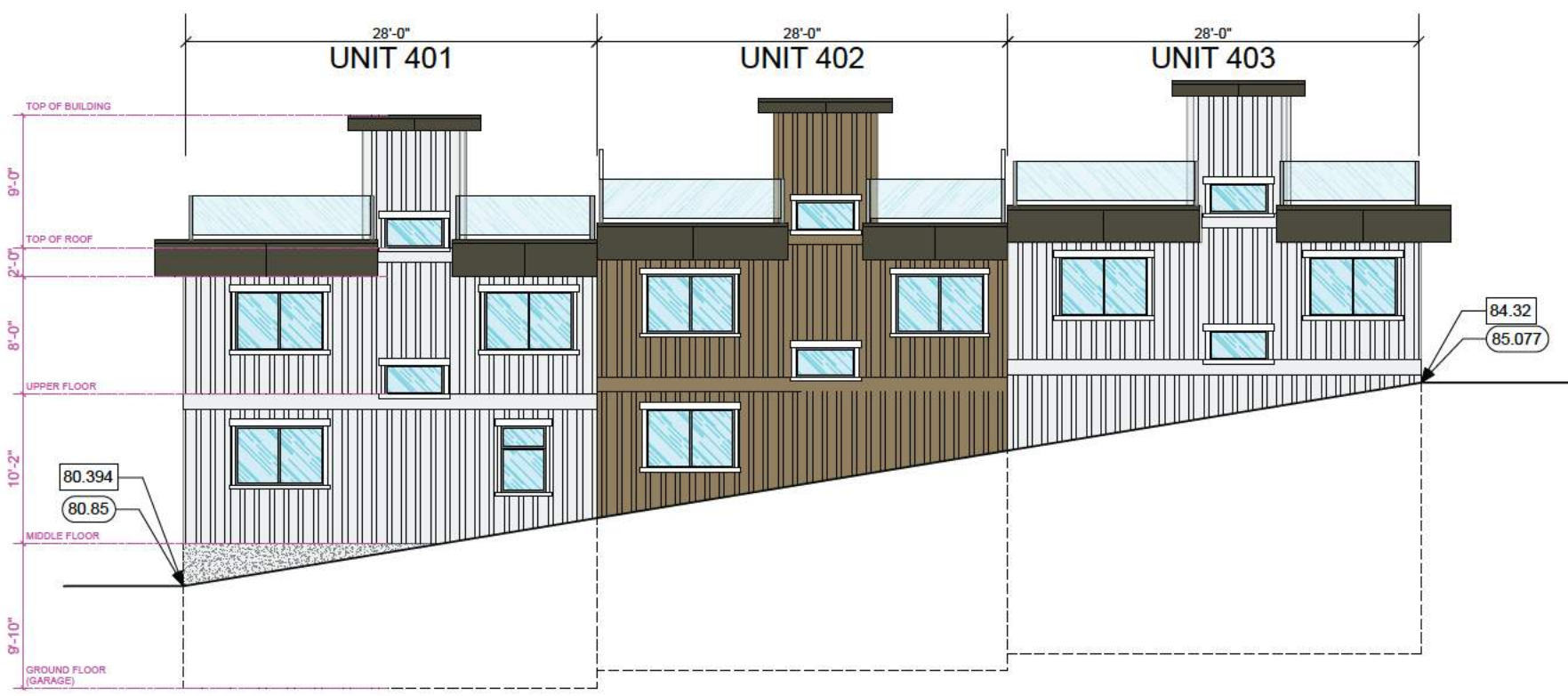
ARCHITECT:
G3 ARCHITECTURE INC.
 #130 - 1959 - 152ND STREET
 SURREY, B.C.
 V4A 0C4
 TEL: 604-916-8582
 EMAIL: gus@g3projects.com

**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC**
 DEVELOPMENT PERMIT #DP22-14

TITLE: SITE PLAN	
SCALE: AS SHOWN	DRAWING NO.:
DATE: 24/03/29	DP110



**BUILDING #4
FRONT ELEVATION (EAST)**



**BUILDING #4
REAR ELEVATION (WEST)**

Schedule B - Elevation Plans
DVP 3090-24-02
670 Farrell Road
(1 of 8)

22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
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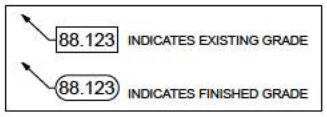
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EMAIL: gus@g3projects.com

**THE ARKELL
RESIDENTIAL DEVELOPMENT
670 FARRELL ROAD
LADYSMITH, BC
DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
BUILDING #4
FRONT & REAR ELEVATION**

SCALE: 3/16" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP340



Schedule B - Elevation Plans
 DVP 3090-24-02
 670 Farrell Road
 (2 of 8)

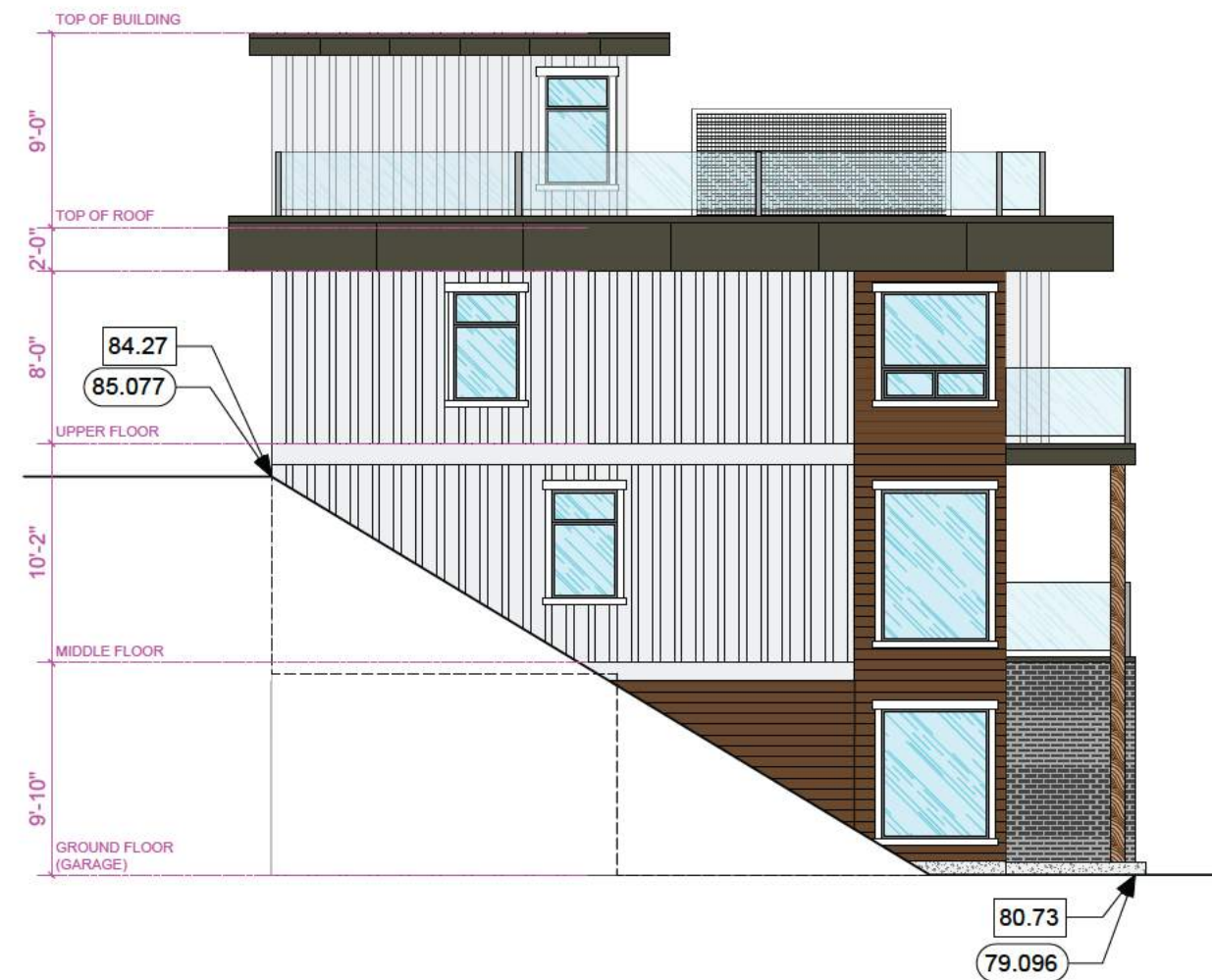
22/09/27	DESIGN DEVELOPMENT
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SIDE ELEVATION (NORTH)



SIDE ELEVATION (SOUTH)

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

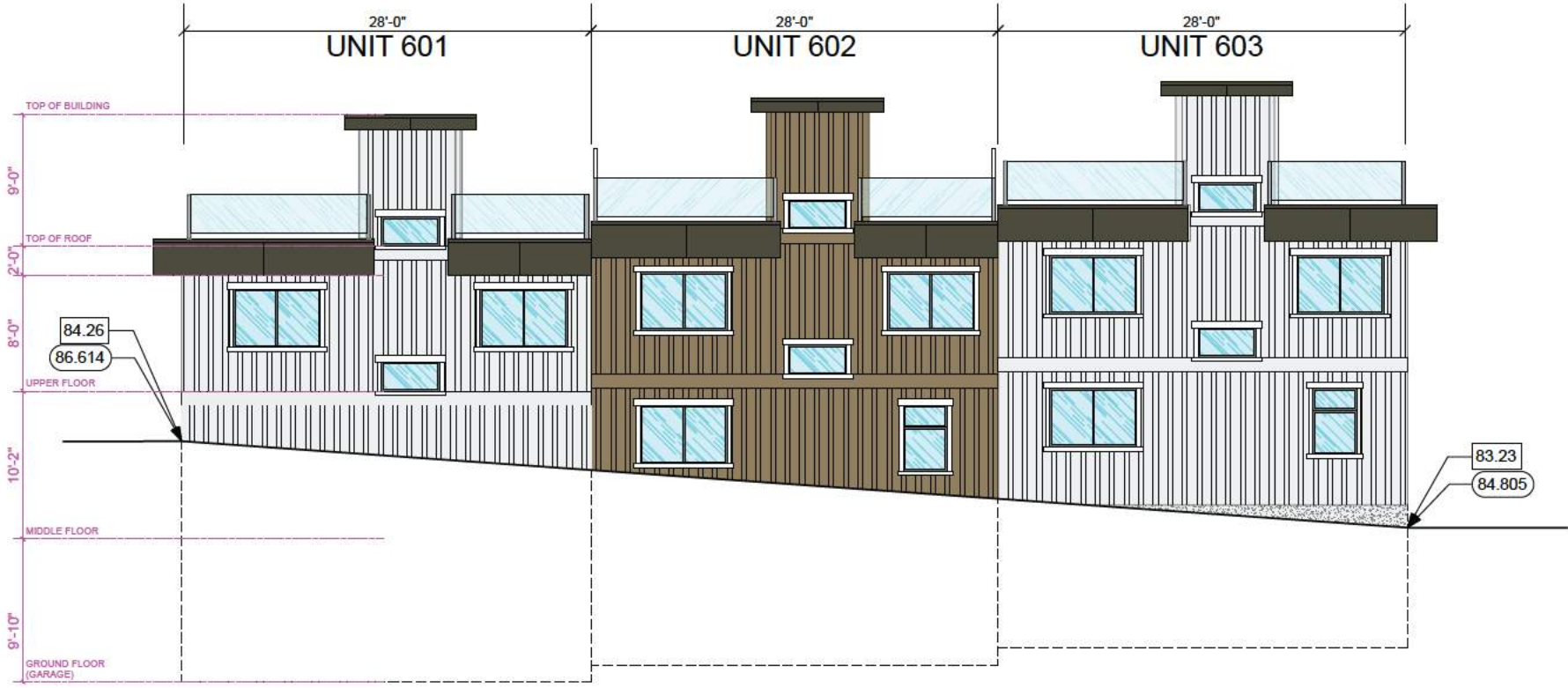
**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
 BUILDING #4
 SIDE ELEVATIONS**

SCALE: 1/4" = 1'-0"
 DATE: 24/03/29
 DRAWING NO.: **DP341**



**BUILDING #6
FRONT ELEVATION (EAST)**



**BUILDING #6
REAR ELEVATION (WEST)**

Schedule B - Elevation Plans
DVP 3090-24-02
670 Farrell Road
(3 of 8)

22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
23/09/16	DEVELOPMENT PERMIT COORDINATION
23/09/25	FINAL DESIGN
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23/12/01	ISSUED FOR DEVELOPMENT PERMIT
24/01/07	SITE FORMATION
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24/03/14	REVISED DRIVEWAYS, RET WALLS, ROAD SLOPES
24/03/29	REVISED BLDGSDRIVEWAYS 1, 2 & 3, REV'D GRADEHEIGHTS

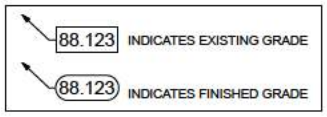
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G3 ARCHITECTURE INC.
#130 - 1959 - 152ND STREET
SURREY, B.C.
V4A 0C4
TEL: 604-916-8582
EMAIL: gus@g3projects.com

**THE ARKELL
RESIDENTIAL DEVELOPMENT
670 FARRELL ROAD
LADYSMITH, BC
DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
BUILDING #6
FRONT & REAR ELEVATION**

SCALE: 3/16" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP360

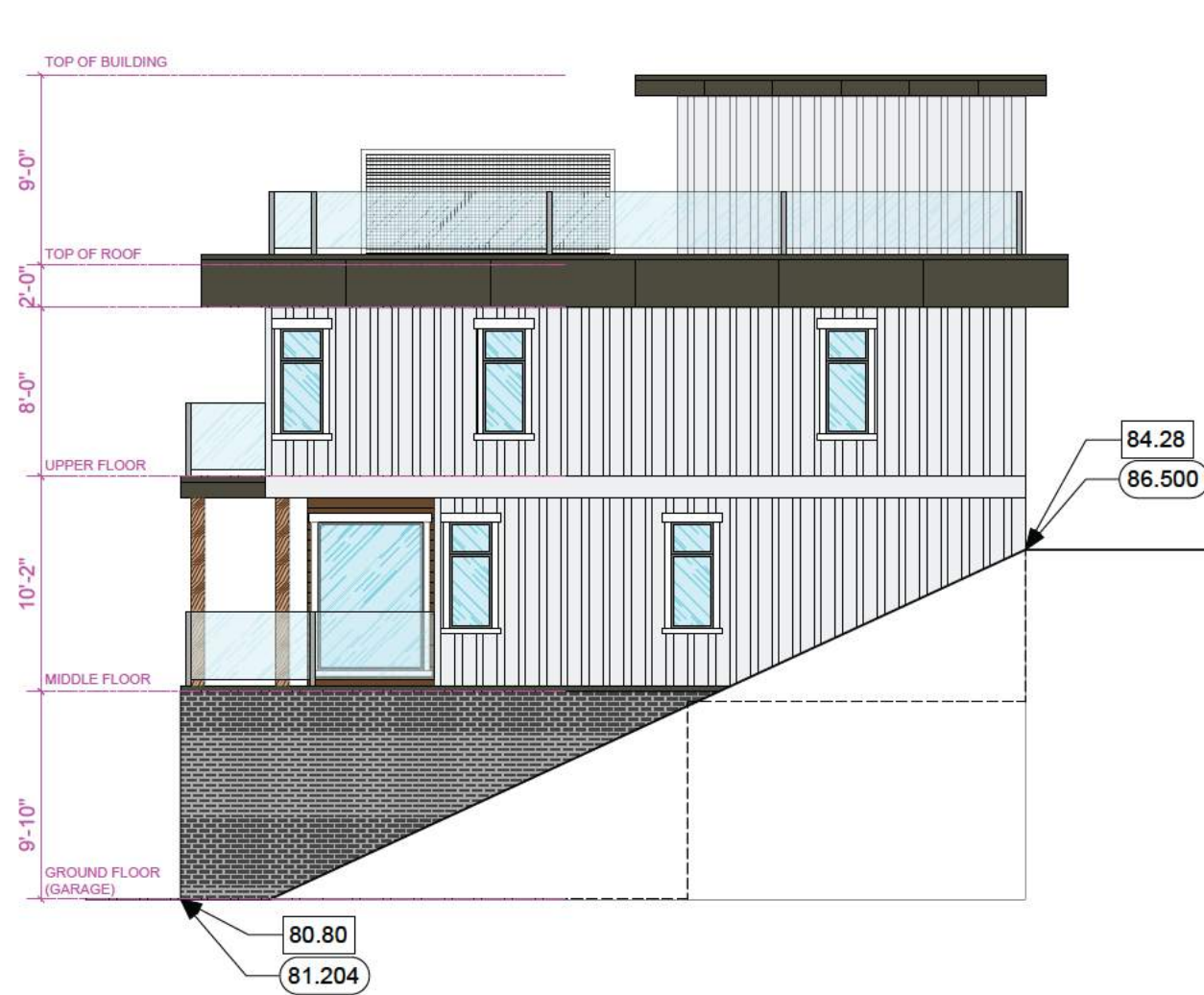


Schedule B - Elevation Plans
 DVP 3090-24-02
 670 Farrell Road
 (4 of 8)

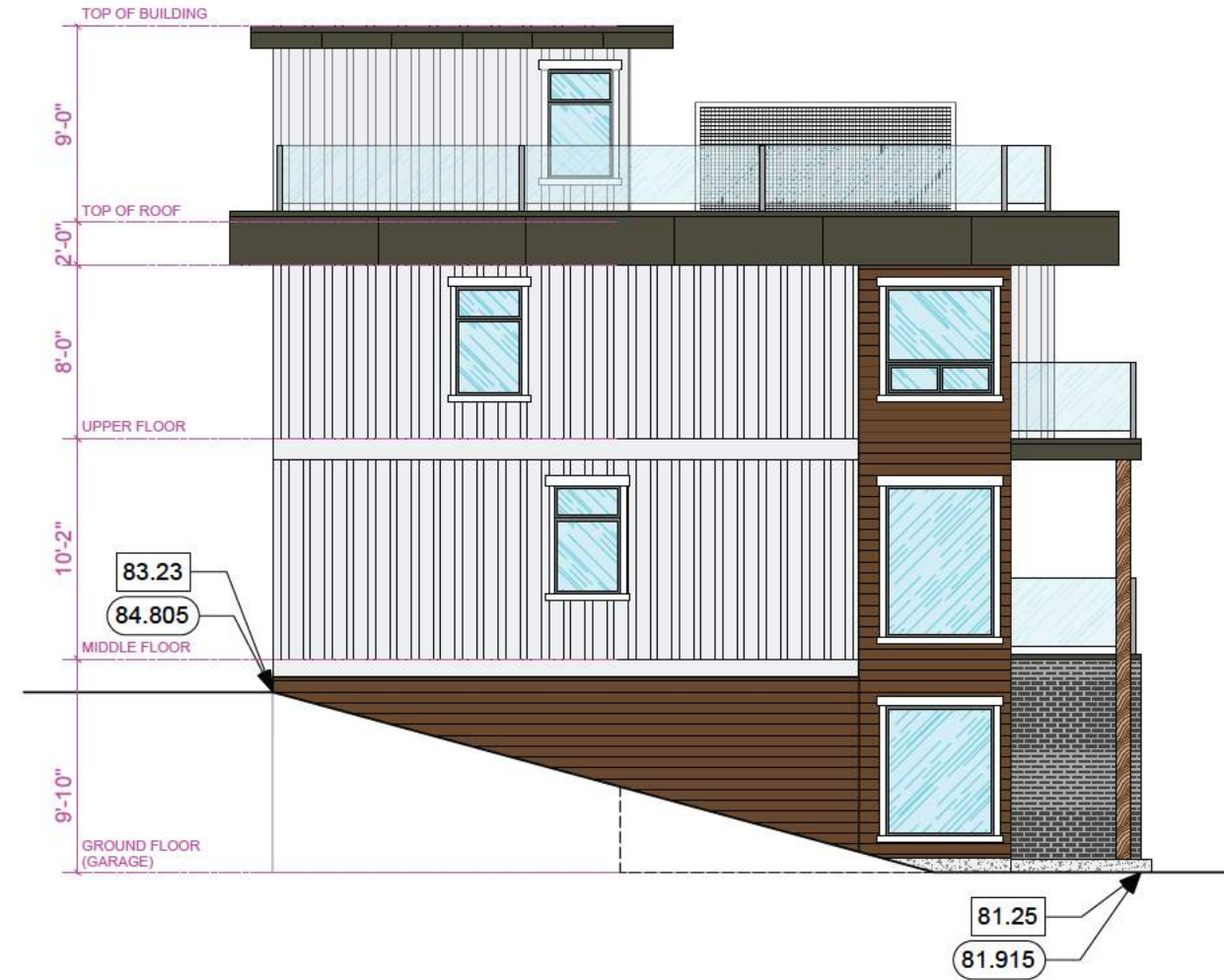
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SIDE ELEVATION (NORTH)



SIDE ELEVATION (SOUTH)

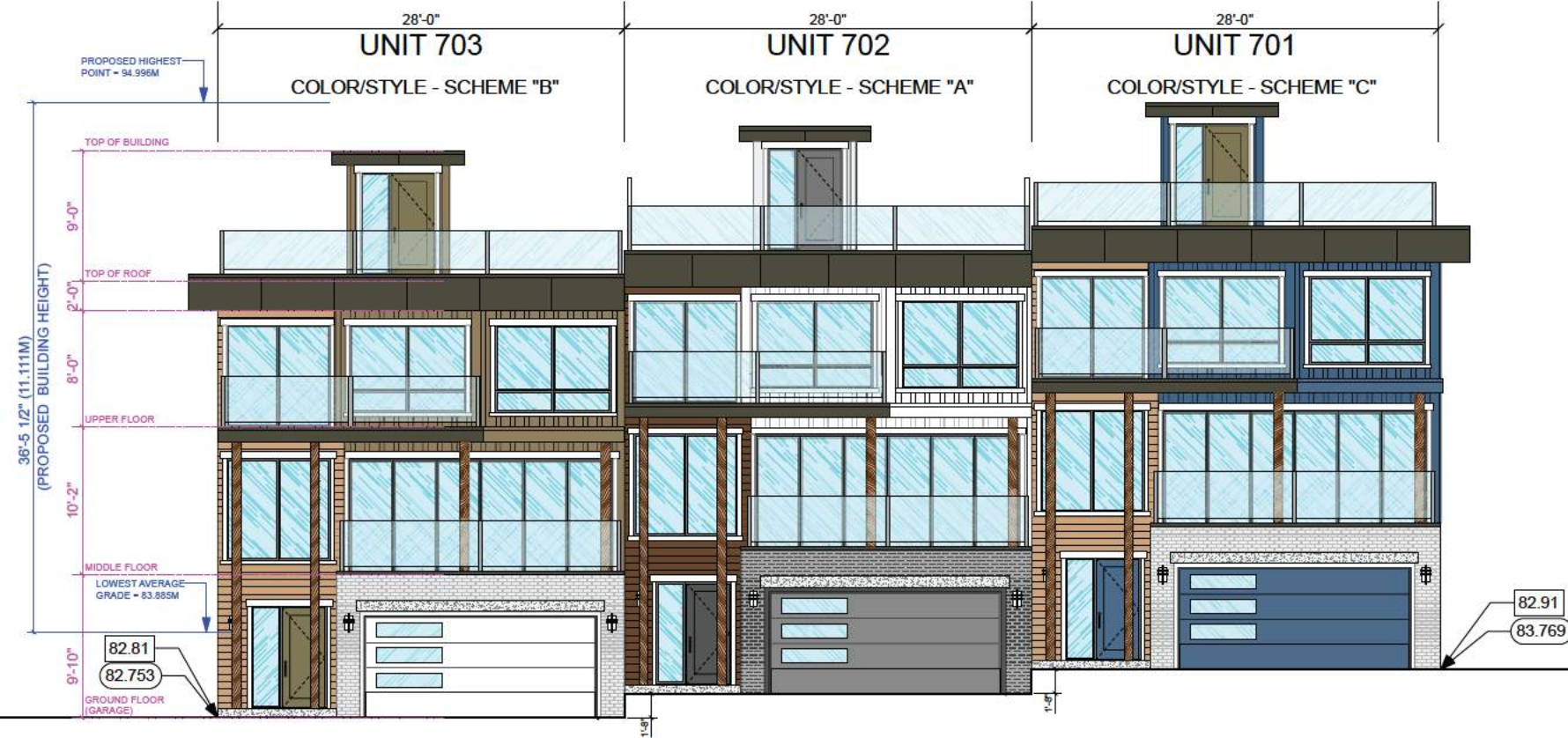
88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

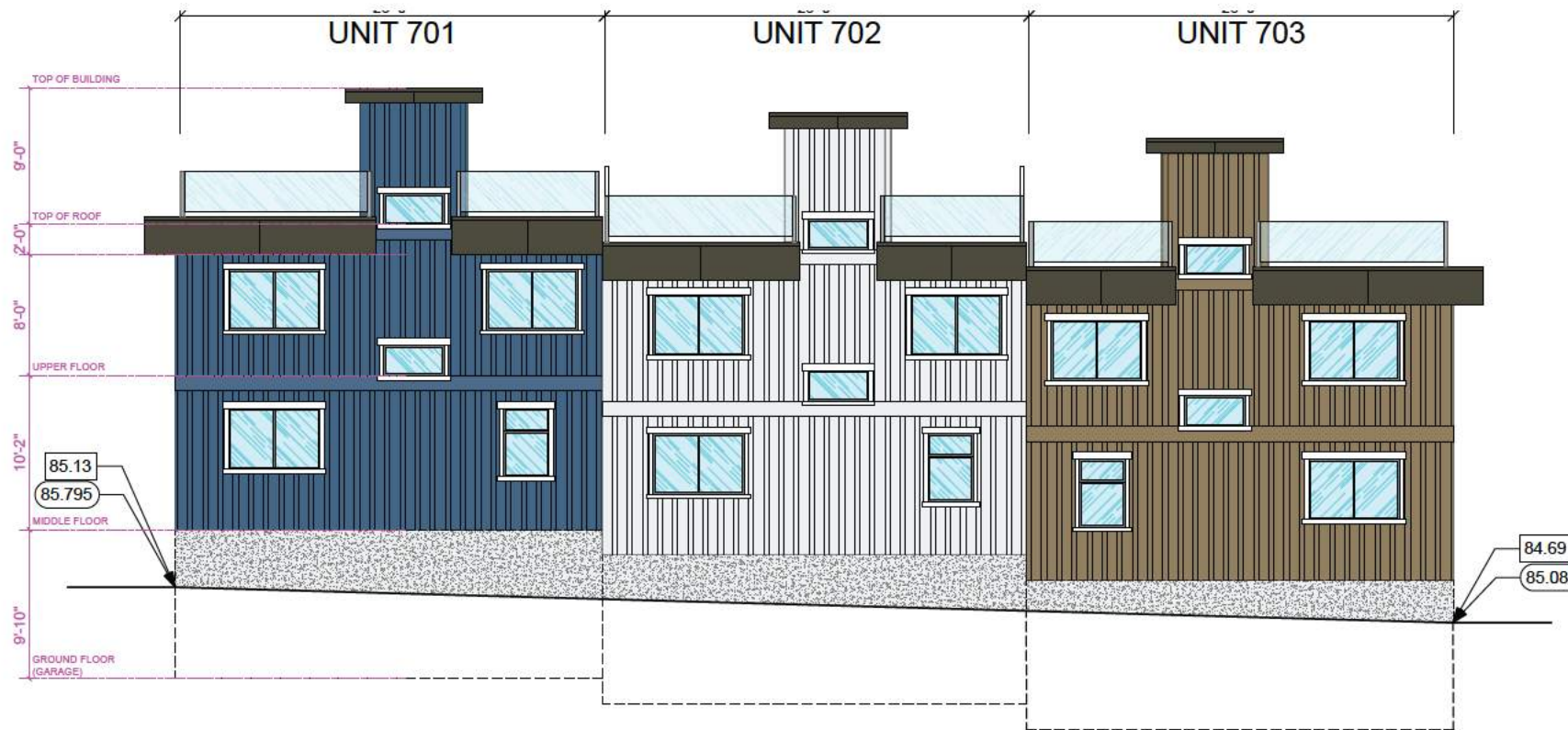
TITLE:
**TOWNHOME
 BUILDING #6
 SIDE ELEVATIONS**

SCALE:	1/4" = 1'-0"	DRAWING NO.:	DP361
DATE:	24/03/29		

Schedule B - Elevation Plans
 DVP 3090-24-02
 670 Farrell Road
 (5 of 8)



**BUILDING #7
 FRONT ELEVATION (EAST)**



**BUILDING #7
 REAR ELEVATION (WEST)**

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

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**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
 BUILDING #7
 FRONT & REAR ELEVATION**

SCALE: 3/16" = 1'-0"
 DATE: 24/03/29
 DRAWING NO.: **DP370**

Schedule B - Elevation Plans
 DVP 3090-24-02
 670 Farrell Road
 (6 of 8)

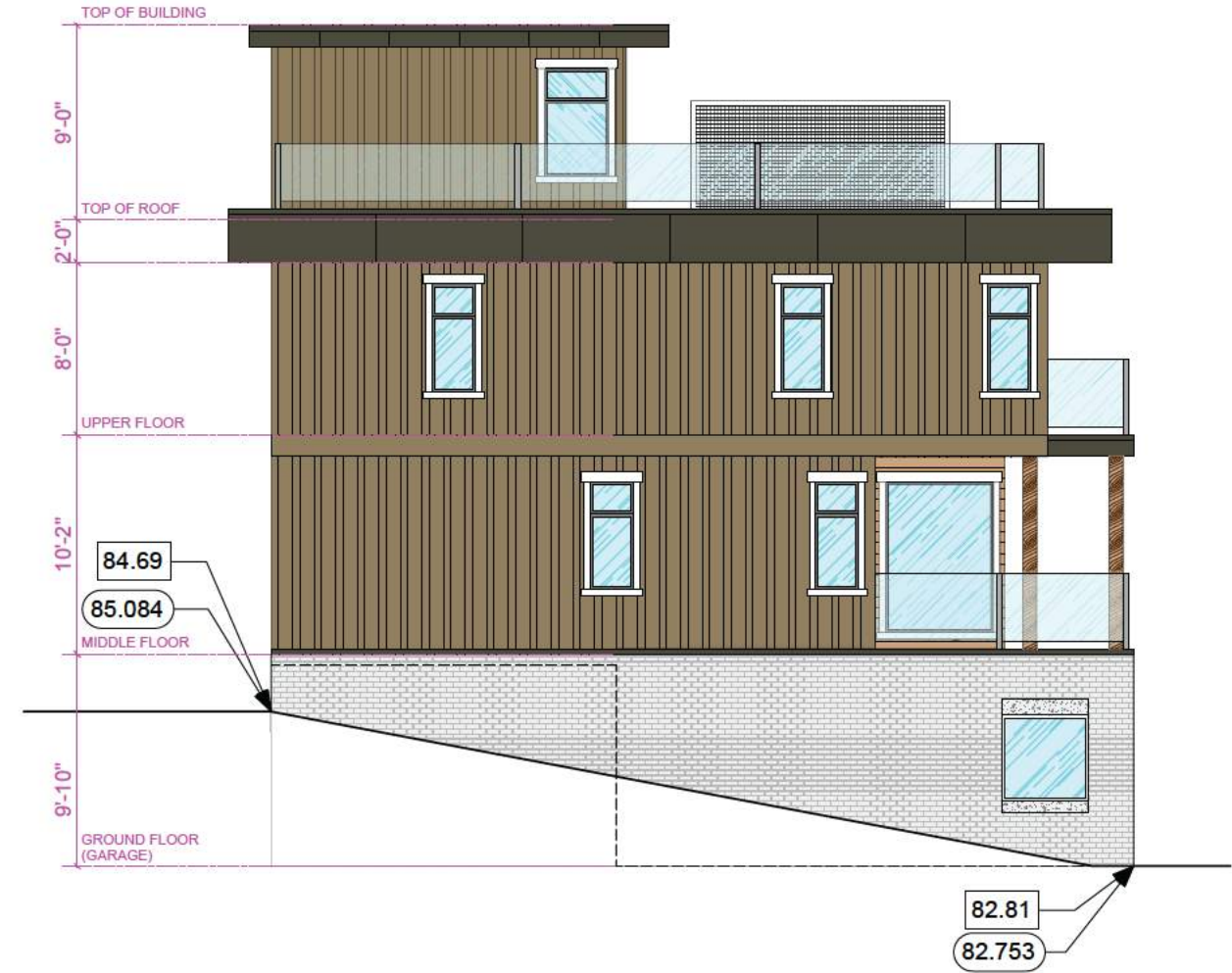
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SIDE ELEVATION (NORTH)



SIDE ELEVATION (SOUTH)

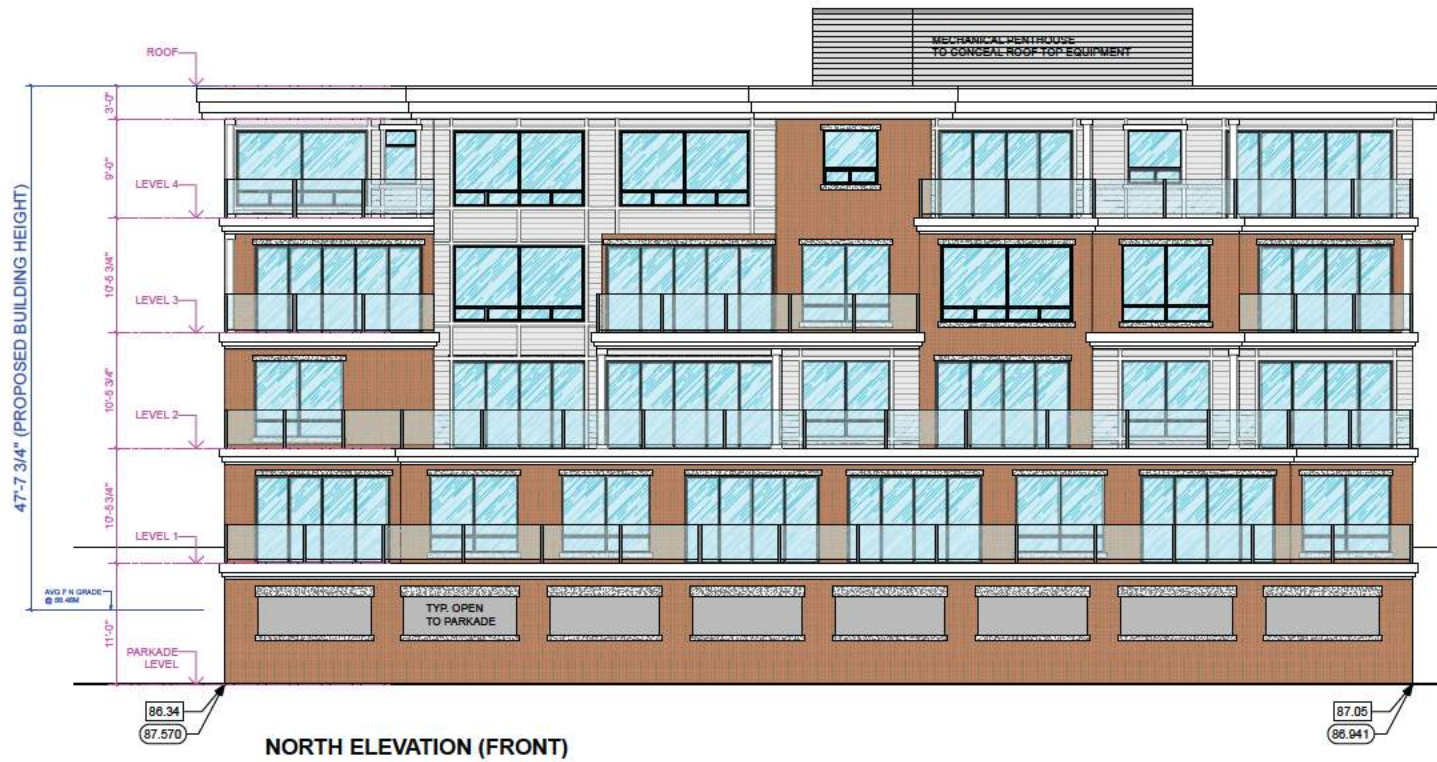
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**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
 BUILDING #7
 SIDE ELEVATIONS**

SCALE: 1/4" = 1'-0"
 DATE: 24/03/29

DRAWING NO.:
DP371



NORTH ELEVATION (FRONT)



WEST ELEVATION (SIDE)



SOUTH ELEVATION (REAR)



EAST ELEVATION (SIDE)

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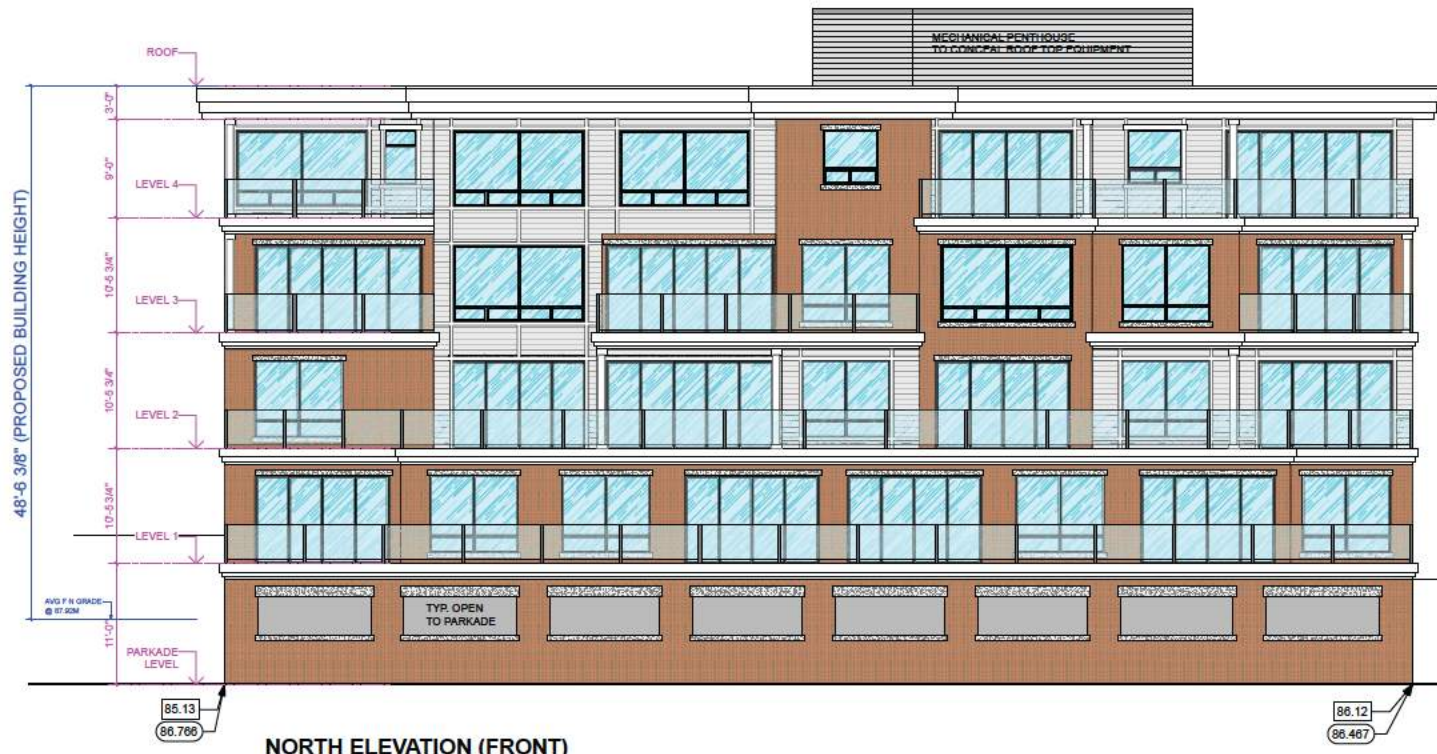
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Schedule B - Elevation Plans
 DVP 3090-24-02
 670 Farrell Road
 (7 of 8)

**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**BUILDING #8
 ELEVATIONS**

SCALE: 1/8" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP260



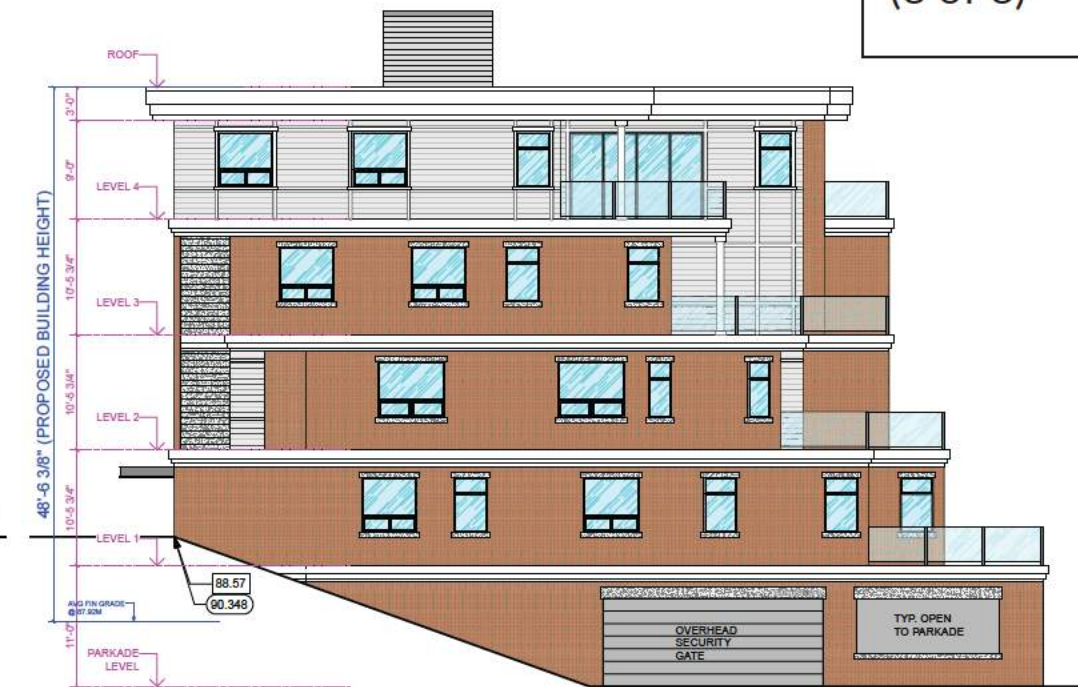
NORTH ELEVATION (FRONT)



WEST ELEVATION (SIDE)



SOUTH ELEVATION (REAR)



EAST ELEVATION (SIDE)

Schedule B - Elevation Plans
 DVP 3090-24-02
 670 Farrell Road
 (8 of 8)

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**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC**
 DEVELOPMENT PERMIT #DP22-14

TITLE:
**BUILDING #9
 ELEVATIONS**

SCALE: 1/8" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP270

ATTACHMENT C



TOWN OF LADYSMITH DEVELOPMENT PERMIT

(Section 489 Local Government Act)

FILE NO: 3060-22-14

DATE: May 21, 2024

Name of Owner(s) of Land (Permittee): Arkell Apartments Ltd., Inc. No. BC1453834

Applicant: Adam Kelln, Robyn Kelln, Gustavo Da Roza (G3 Architecture Inc.)

Subject Property (Civic Address): 670 Farrell Road

1. This Development Permit is subject to compliance with all of the bylaws of the Town of Ladysmith applicable thereto, except as specifically varied by this Permit.
2. This Permit applies to and only to those lands within the Town of Ladysmith described below, and any and all buildings structures and other development thereon:

Lot 12 District Lot 41 Oyster District Plan EPP119981
PID: 032-050-844
(670 Farrell Road)

(referred to as the "Land")
3. This Permit has the effect of authorizing the issuance of a building permit for the construction of a residential development consisting of two four-storey multiple-unit dwelling buildings, three four-unit townhouse buildings, four three-unit townhouse buildings, the alteration of land, and construction of accessory buildings and structures on the Land in accordance with the plans and specifications attached to this Permit, and subject to the conditions, requirements and standards imposed and agreed to in this Permit.
4. This Permit does not have the effect of varying the use or density of the Land specified in Zoning Bylaw 2014, No. 1860.
5. The Permittee, as a condition of the issuance of this Permit, agrees to:

- (a) Develop the Land in accordance with:
- Schedule A – Site Plan**
 - Schedule B – Phasing Plan**
 - Schedule C – Building Elevations and Materials**
 - Schedule D – Landscape Plan**
 - Schedule E – Landscape Tree Plan**
 - Schedule F – Stormwater Management Plan**
 - Schedule G – Waste Management Plan**
 - Schedule H – Geotechnical Assessment**
 - Schedule J – Erosion and Sediment Control Plan**
 - Schedule K – Bird Nesting Report**
- (b) Provide high efficiency/water saving irrigation to landscaped areas.
- (c) Screen all visible rooftop and exterior mechanical and electrical equipment.
- (d) Follow all recommendations in **Schedule H – Geotechnical Assessment** including the following:
- i. The Geotechnical Engineer will inspect site preparations, subgrade conditions and cutslopes prior to placing fill or concrete.
 - ii. Earthworks preparations should be evaluated by the Geotechnical Engineer prior to installation of formwork.
 - iii. Stormwater management will be in accordance with the recommendations provided in **Schedule F – Stormwater Management Plan**.
 - iv. The Geotechnical Engineer will review the building plan and survey for each building prior to construction.
 - v. The Geotechnical Engineer will review any retaining wall construction.
 - vi. Drainage requirements for any wall construction shall be reviewed by the Geotechnical Engineer prior to construction.
 - vii. Follow best management practices to prevent erosion and sedimentation during construction.
- (e) **Schedule J – Erosion and Sediment Control Plan**, and **Schedule K – Bird Nesting Report** including the following:

PRIOR TO CONSTRUCTION AND CLEARING

- i. Erosion and Sediment Control (ESC) measures will be implemented to prevent the mobilization of sediment to the surrounding environment, including the following:
 - a. Limit the area of disturbance to the immediate area of construction.

- b. Delineate the project site boundary with snow fencing or flagging if necessary.
- c. Maintain natural drainage patterns and current drainage structures.
- d. Install sediment fencing at the perimeter of the work area and around stockpiles under the direction and inspection of the Qualified Environmental Professional (QEP).
- ii. Catch basin inlet protection measures will be installed.
- iii. Clearing or grubbing is prohibited during the peak bird nesting season between May 1 – July 15.
- iv. Breeding bird nest surveys will be conducted by the QEP if clearing or grubbing is planned to occur during the breeding bird nesting window between March 15 – May 1 and between July 15 to August 15.

DURING CONSTRUCTION

- i. Runoff in the work site must be controlled and managed on site.
- ii. Prevent the tracking of sediment by construction vehicles by maintaining all site access locations.
- iii. Ensure that erosion and sediment control materials are available on-site.
- iv. Install silt fencing at the perimeter of the disturbed work areas and up-gradient slope areas.
- v. Apply straw, if necessary, to erodible surfaces.
- vi. Temporary material stockpiles are to be compacted and/or protected from rain and wind with Polyethylene sheeting or tarps.
- vii. Remove, maintain, repair, and/or replace erosion and sediment control structures when deemed inefficient, exhausted, or no longer necessary.
- viii. Disturbed soils left for more than 30 days will be mulched or seeded.
- ix. Clearing and grubbing should be scheduled during dry weather.
- x. During periods of significant rain, the site may be shut down to prevent erosion and the mobilization of sediment.
- xi. All works will be monitored by the QEP during land clearing and construction.
- xii. Hazardous materials, dangerous goods, controlled products, and wastes generated during the project shall be stored, used, transported, and disposed of according to applicable laws and regulations.
- xiii. Follow best practices for dust control measures.
- xiv. Ensure best management practices are followed to prevent spill or release of other hazardous materials to the surrounding environment.

POST CONSTRUCTION & LONG-TERM PROTECTION

- i. Earthworks and stabilization plans must be prepared and implemented as follow up activities upon completion of operations.
- ii. Exposed soils should be seeded or covered with other erosion control measures during non-germination periods.

6. The Permittee agrees that the sequence and timing of the construction described in this permit shall take place as follows:
 - (a) Construction of the development may proceed in five phases as shown on **Schedule A – Site Plan** and **Schedule B – Phasing Plan** consisting of:
 - i. Phase 1: Building 1 and Building 2
 - ii. Phase 2: Building 3
 - iii. Phase 3: Building 4 and Building 5
 - iv. Phase 4: Building 6 and Building 7
 - v. Phase 5: Building 8 and Building 9
 - (b) Phase 6 landscape works as shown on **Schedule D - Landscape Plan** must be complete prior to approval of Phase 5 development as shown on **Schedule B – Phasing Plan**. Phase 6 landscape works will be deemed complete by submitting to the Town of Ladysmith a report from a landscape architect confirming that Phase 6 landscaping conditions have been met.
 - (c) In the event that occupancy of a preceding phase occurs prior to the start of construction of the next phase, the Land shall be maintained in a safe condition with the undeveloped areas of the property to be seeded with ground cover or surrounded by opaque fencing.
7. This Permit is issued on the condition that the Permittee has provided to the Town of Ladysmith security in the form of security in accordance with s.502 of the *Local Government Act* to guarantee the performance of the conditions in section 5 and 6 of this Permit respecting landscaping. The security shall be for a period of two years, shall be automatically extended, and shall be payable at the building permit stage for each phase in the following installments:
 - (a) \$110,670 (Phase 1)
 - (b) \$32,638 (Phase 2)
 - (c) \$88,936 (Phase 3)
 - (d) \$152,505 (Phase 4)
 - (e) \$324,280 (Phase 5)
8. Should the Permittee fail to satisfy the conditions referred to in section 5 and 6 of this Permit, the Town of Ladysmith may undertake and complete the works required to satisfy the landscaping condition(s) at the cost of the Permittee, and may apply the security in payment of the cost of the work, with any excess to be returned to the Permittee.
9. Requests for the release of the security shall be accompanied by a report from a landscape architect confirming that the landscaping conditions in section 6 of this permit have been met. The security may be released in five parts in accordance with the phases identified in section 6 and 7 of this permit.

10. Notwithstanding section 7, 8 and 9 of this Permit, should any landscape works of a preceding phase be damaged, the Town of Ladysmith may withhold the security of a subsequent phase until the conditions in section 5 and 6 of this Permit respecting landscaping are met.
11. Should there be no default as herein provided, or where a Permit lapses, the Town of Ladysmith shall return any security provided to the Permittee.
12. For certainty, any retaining walls or vegetation clearing outside of the immediate development area are subject to an additional Development Permit
13. If the Permittee does not substantially start any construction permitted by this Permit within **two years** of the date of this Permit as established by the authorizing resolution date, this Permit shall lapse.
14. The plans and specifications attached to this Permit are an integral part of this Permit.
15. Notice of this Permit shall be filed in the Land Title Office at Victoria under s.503 of the *Local Government Act*, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
16. Nothing in this Permit relieves the Permittee from any requirements of any federal, provincial, or Town regulations or from any instruments registered on the title including statutory rights-of-ways, covenants and similar restrictions. In the even of a conflict between this Permit and another regulation or instrument, the rules of the instrument or regulation shall prevail.
17. Despite issuance of this permit, construction may not start without a Building Permit or other necessary permits.

AUTHORIZED BY RESOLUTION NO. _____ PASSED BY THE COUNCIL OF THE TOWN OF LADYSMITH ON THE ____ DAY OF _____, 202__.

Schedule A - Site Plan
 DP 3060-22-14
 670 Farrell Road
 1 page



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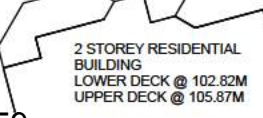
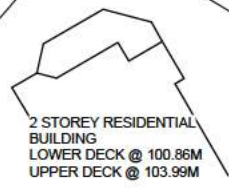
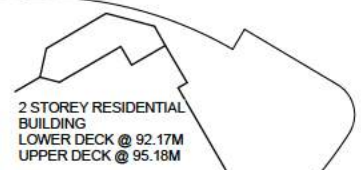
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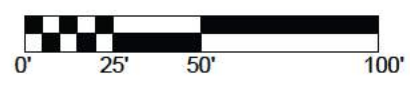


BUILDING SETBACKS:

BUILDING 1 PROPOSED SETBACKS			
BUILDING SETBACK #1 (FRONT)	19.84 FT	6.05 M	
BUILDING SETBACK (REAR)	N/A		
BUILDING SETBACK #2 (SIDE)	20.10 FT	6.14 M	
BUILDING SETBACK (SIDE)	N/A		
BUILDING 2 PROPOSED SETBACKS			
BUILDING SETBACK #2 (FRONT)	21.33 FT	6.50 M	
BUILDING SETBACK (REAR)	N/A		
BUILDING SETBACK (SIDE)	N/A		
BUILDING SETBACK (SIDE)	N/A		
BUILDING 3 PROPOSED SETBACKS			
BUILDING SETBACK #2 (FRONT)	21.33 FT	6.50 M	
BUILDING SETBACK (REAR)	N/A		
BUILDING SETBACK #4 (SIDE)	25.08 FT	7.83 M	
BUILDING SETBACK (SIDE)	N/A		
BUILDING 4 PROPOSED SETBACKS			
BUILDING SETBACK (FRONT)	N/A		
BUILDING SETBACK (REAR)	N/A		
BUILDING SETBACK #5 (SIDE)	33.94 FT	10.35 M	
BUILDING SETBACK (SIDE)	N/A		
BUILDING 5 PROPOSED SETBACKS			
BUILDING SETBACK (FRONT)	N/A		
BUILDING SETBACK (REAR)	N/A		
BUILDING SETBACK (SIDE)	N/A		
BUILDING SETBACK (SIDE)	N/A		
BUILDING 6 PROPOSED SETBACKS			
BUILDING SETBACK (FRONT)	N/A		
BUILDING SETBACK (REAR)	N/A		
BUILDING SETBACK (SIDE)	N/A		
BUILDING SETBACK (SIDE)	N/A		
BUILDING 7 PROPOSED SETBACKS			
BUILDING SETBACK (FRONT)	N/A		
BUILDING SETBACK #6 (REAR)	17.47 FT	5.33 M	
BUILDING SETBACK #7 (SIDE)	31.03 FT	9.46 M	
BUILDING SETBACK (SIDE)	N/A		
BUILDING 8 PROPOSED SETBACKS			
BUILDING SETBACK (FRONT)	N/A		
BUILDING SETBACK #8 (REAR)	30.58 FT	9.32 M	
BUILDING SETBACK #9 (SIDE)	10.24 FT	3.12 M	
BUILDING SETBACK #9 (SIDE)	82.91 FT	25.27 M	
BUILDING 9 PROPOSED SETBACKS			
BUILDING SETBACK (FRONT)	N/A		
BUILDING SETBACK (REAR)	N/A		
BUILDING SETBACK #11 (SIDE)	30.00 FT	9.14 M	
BUILDING SETBACK (SIDE)	N/A		



NOTE: REFER TO CIVIL ENGINEERED DRAWINGS FOR FIRE TRUCK ACCESS ROUTE MANEUVRABILITY, SIMULATION, ETC...



THE ARKELL
RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14

TITLE:
SITE PLAN

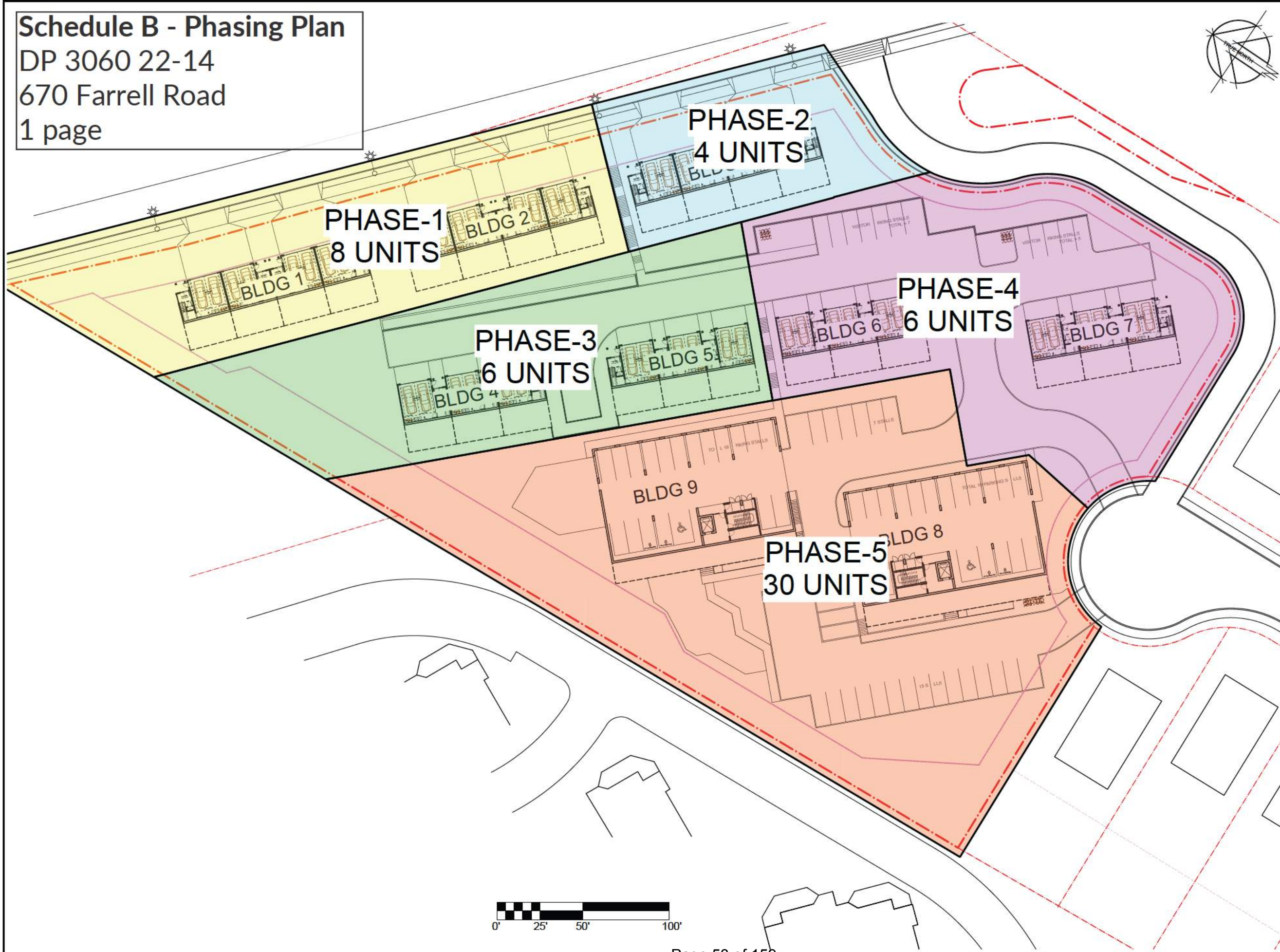
SCALE:	AS SHOWN	DRAWING NO.:	
DATE:	24/03/29		DP110

Schedule B - Phasing Plan

DP 3060 22-14

670 Farrell Road

1 page



22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
23/09/16	DEVELOPMENT PERMIT COORDINATION
23/09/25	FINAL DESIGN
23/10/27	DEVT PHASING PLAN
23/12/01	ISSUED FOR DEVELOPMENT PERMIT
24/01/07	SITE FORMATION
24/01/27	MAJOR SITE REVISION PER DP COMMENTS
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24/03/14	REVISED DRIVEWAYS, RET WALLS, ROAD SLOPES
24/03/29	REVISED BLDG DRIVEWAYS 1, 2 & 3, REV'D GRADE HEIGHTS

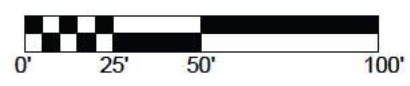
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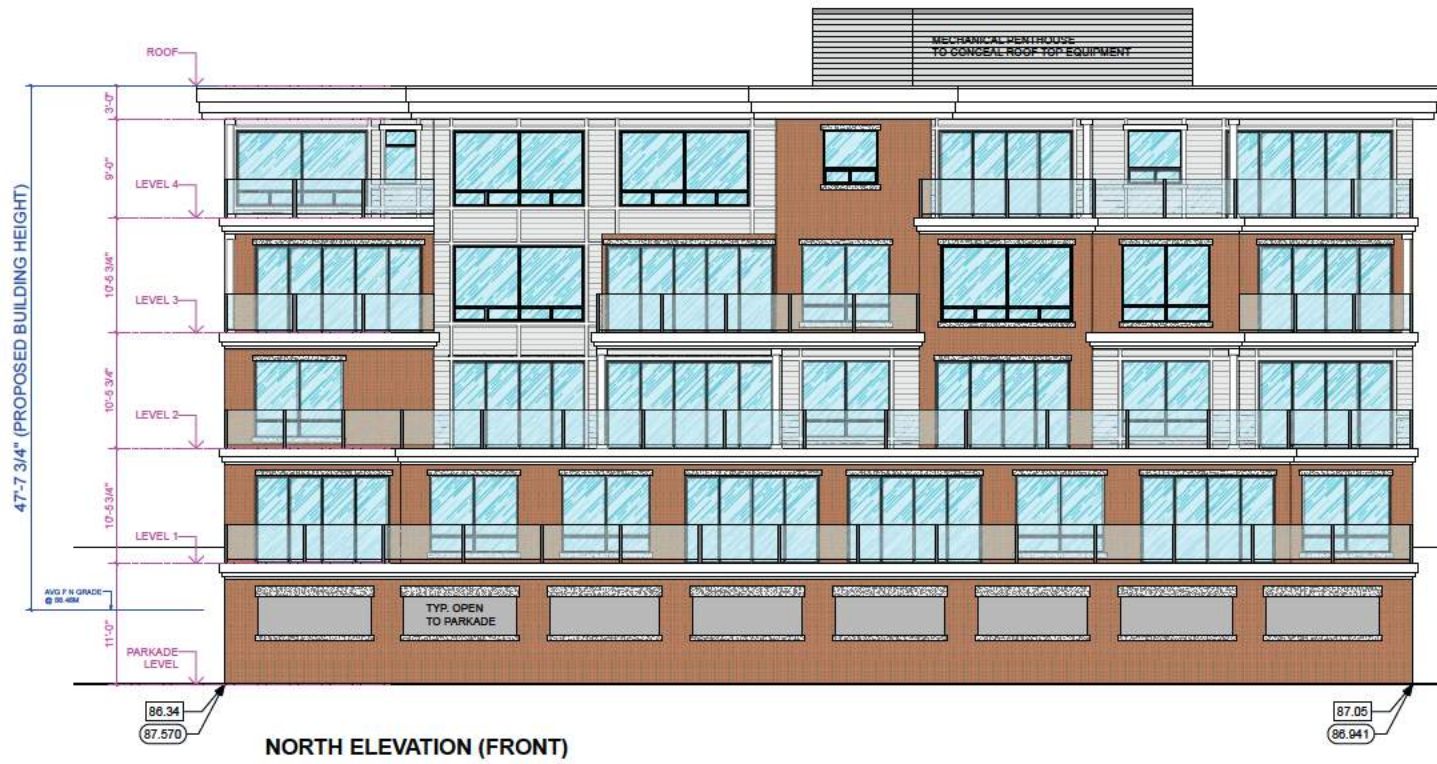
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 EMAIL: gus@g3projects.com

**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
DEVELOPMENT PHASING PLAN

SCALE: AS SHOWN	DRAWING NO.:
DATE: 24/03/29	DP130





NORTH ELEVATION (FRONT)



WEST ELEVATION (SIDE)



SOUTH ELEVATION (REAR)



EAST ELEVATION (SIDE)

Schedule C - Building Elevations and Materials
 DP 3060-22-14
 670 Farrell Road
 20 pages

22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
23/09/16	DEVELOPMENT PERMIT COORDINATION
23/09/25	FINAL DESIGN
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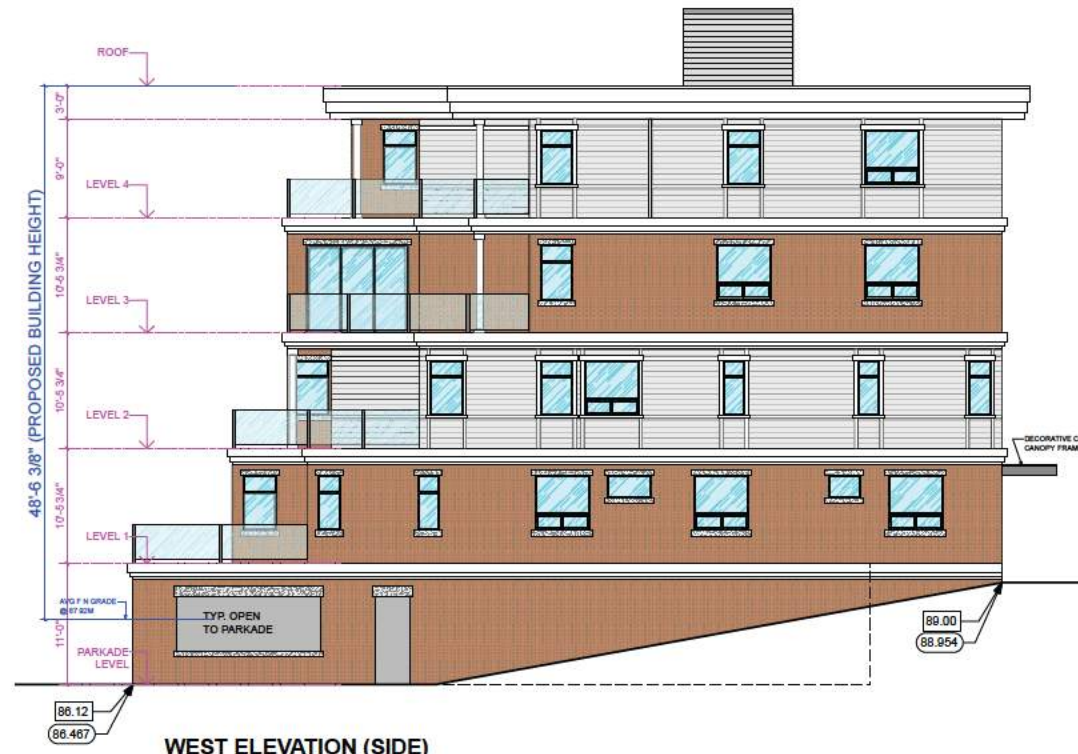
**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**BUILDING #8
 ELEVATIONS**

SCALE: 1/8" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP260



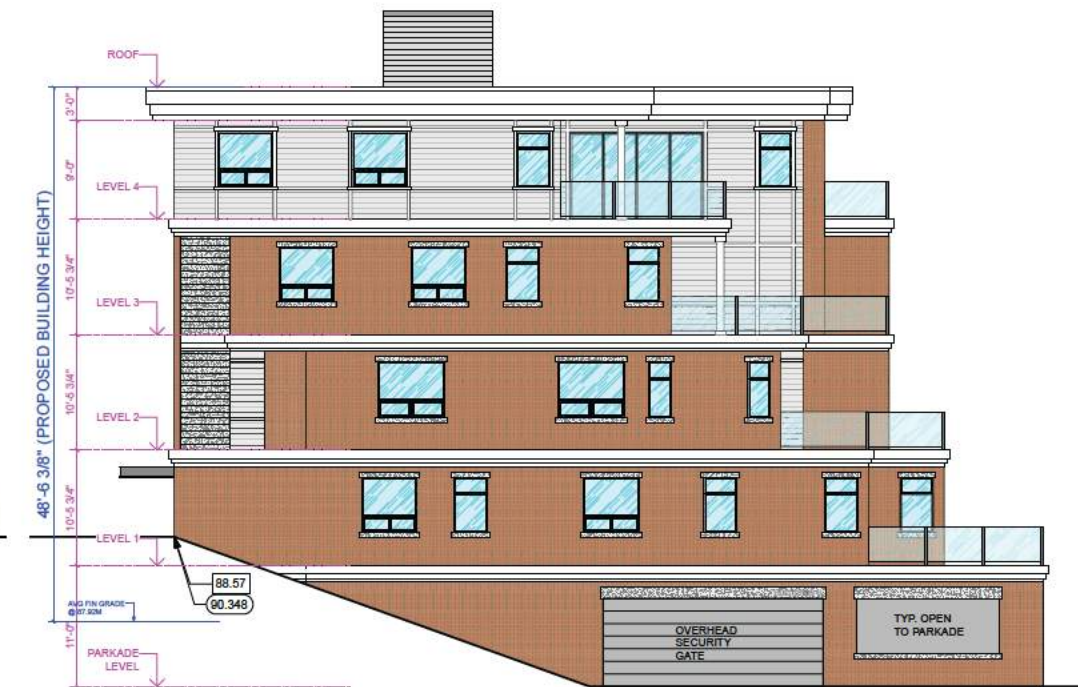
NORTH ELEVATION (FRONT)



WEST ELEVATION (SIDE)



SOUTH ELEVATION (REAR)



EAST ELEVATION (SIDE)

22/09/27	DESIGN DEVELOPMENT
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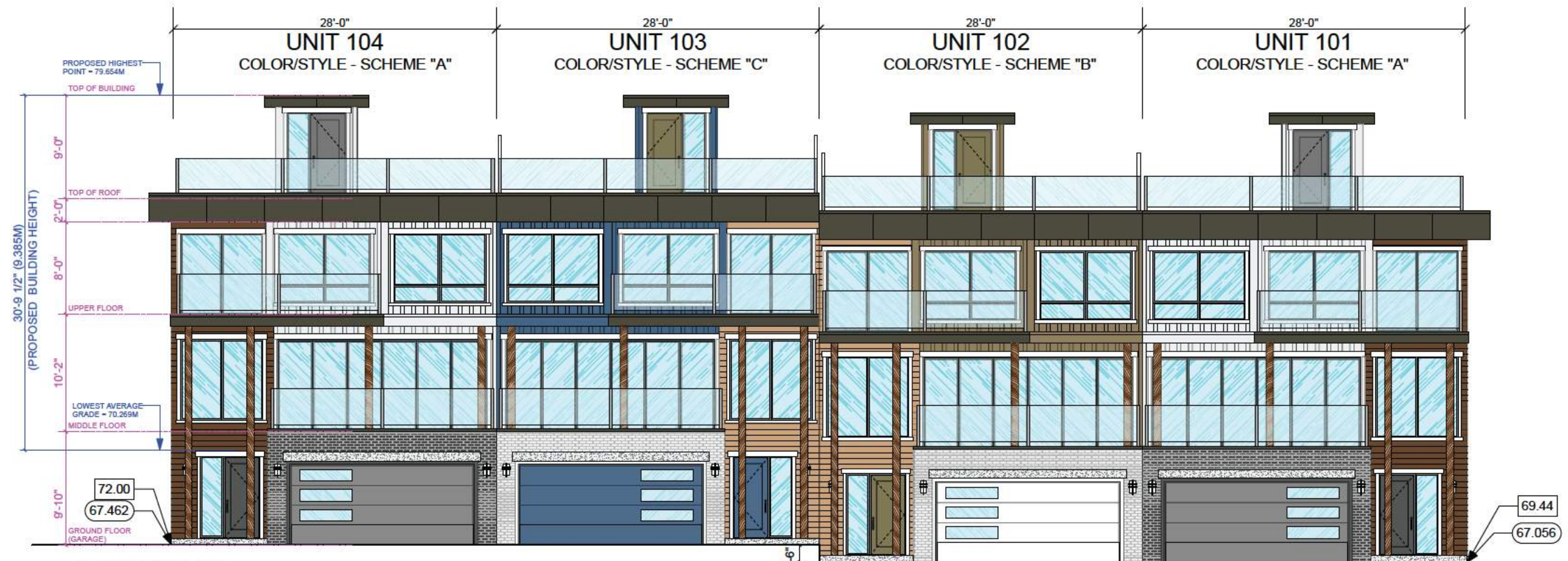
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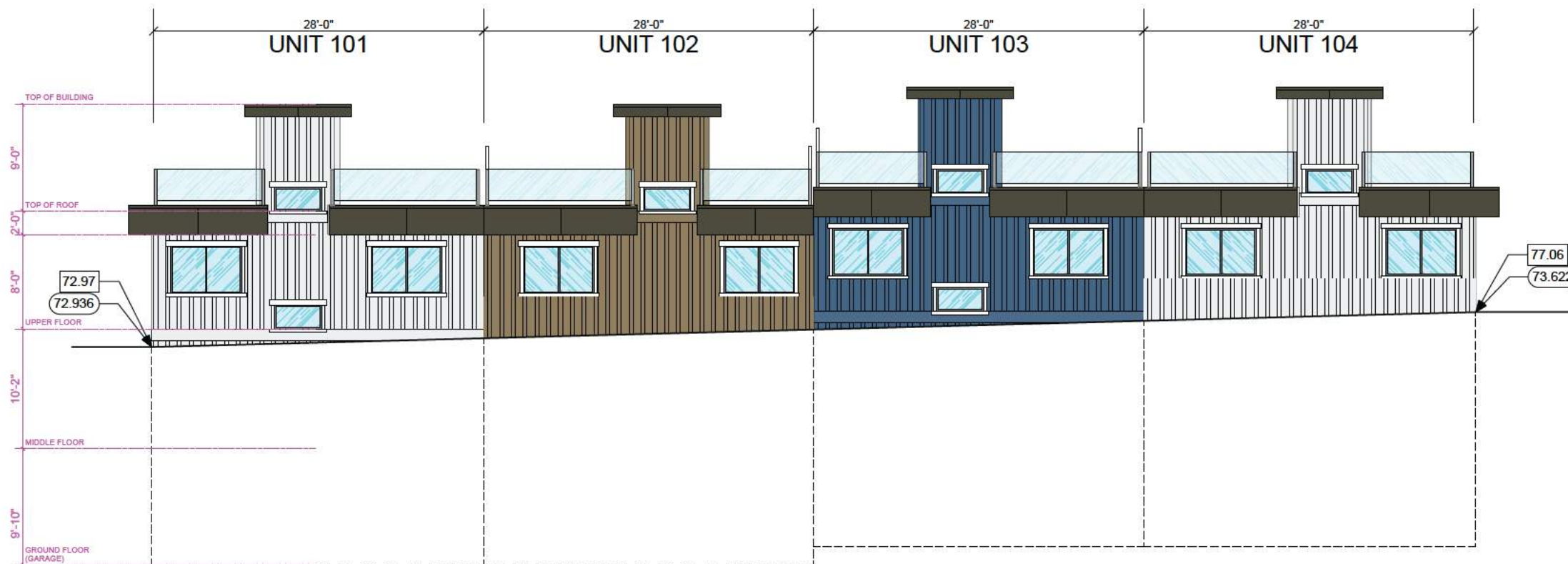
**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**BUILDING #9
 ELEVATIONS**

SCALE: 1/8" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP270



**BUILDING #1
FRONT ELEVATION (EAST)**



**BUILDING #1
REAR ELEVATION (WEST)**

88.123 INDICATES EXISTING GRADE
88.123 INDICATES FINISHED GRADE

22/09/27	DESIGN DEVELOPMENT
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**THE ARKELL
RESIDENTIAL DEVELOPMENT
670 FARRELL ROAD
LADYSMITH, BC
DEVELOPMENT PERMIT #DP22-14**

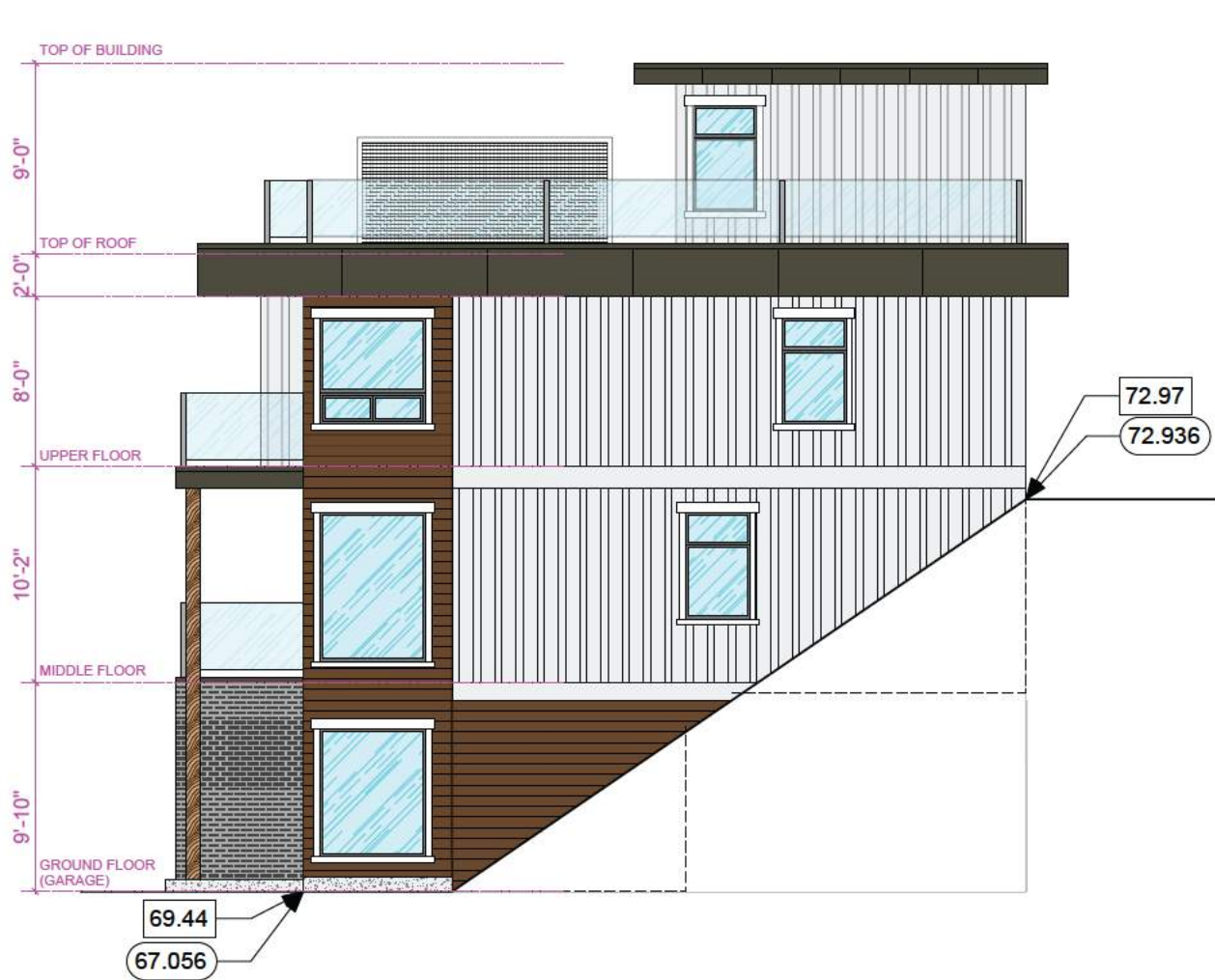
TITLE:
**TOWNHOME
BUILDING #1
FRONT & REAR ELEVATION**

SCALE: 3/16" = 1'-0"
DATE: 24/03/29
DRAWING NO.: **DP310**

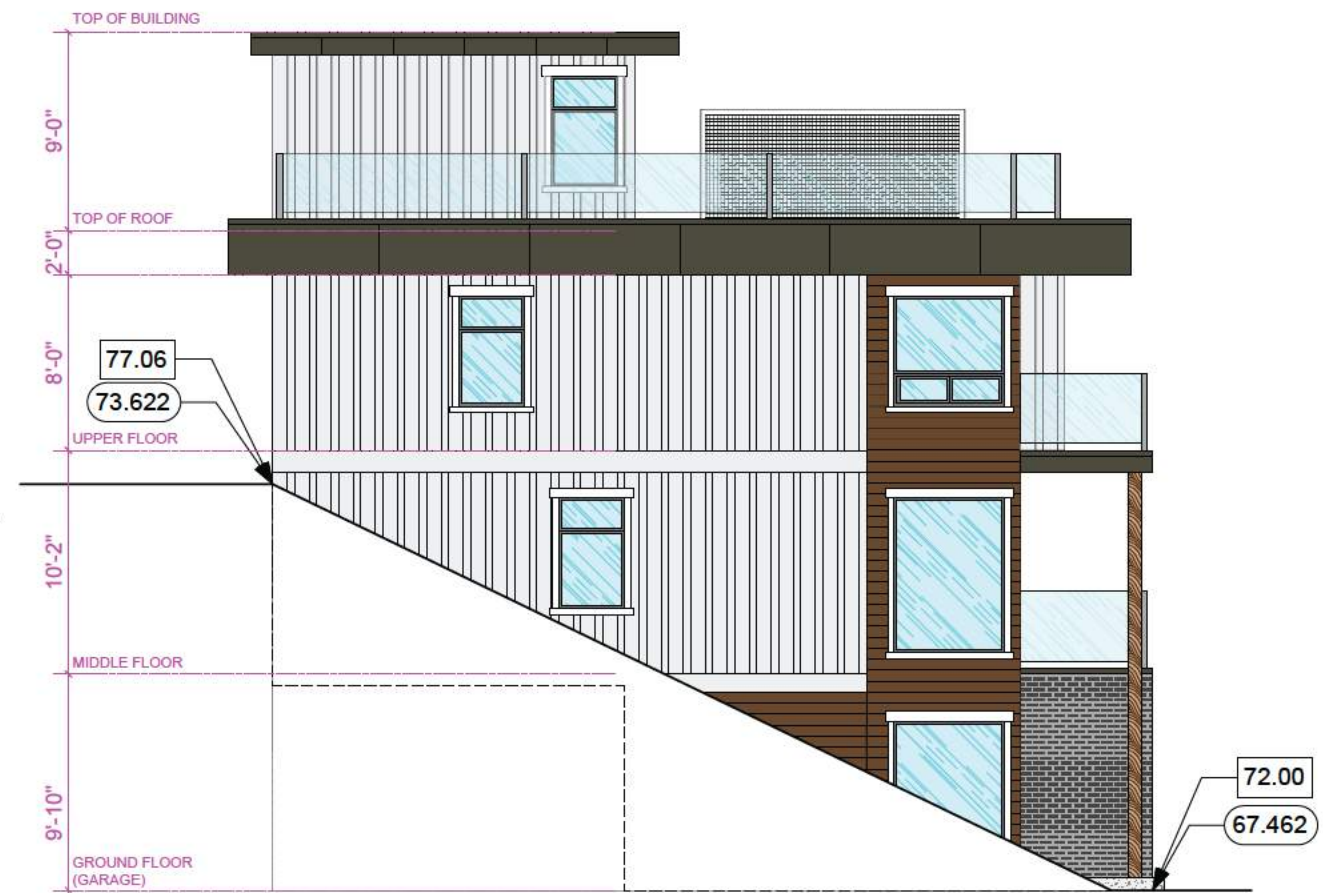
22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
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SIDE ELEVATION (NORTH)



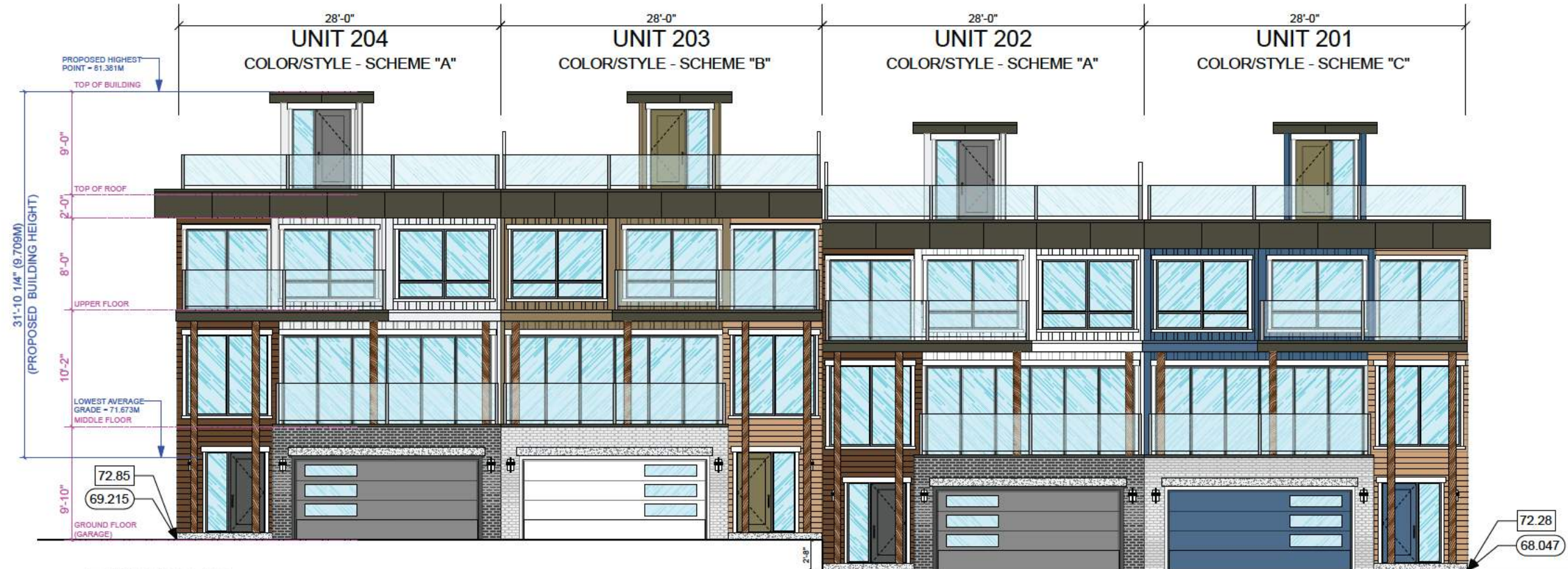
SIDE ELEVATION (SOUTH)

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

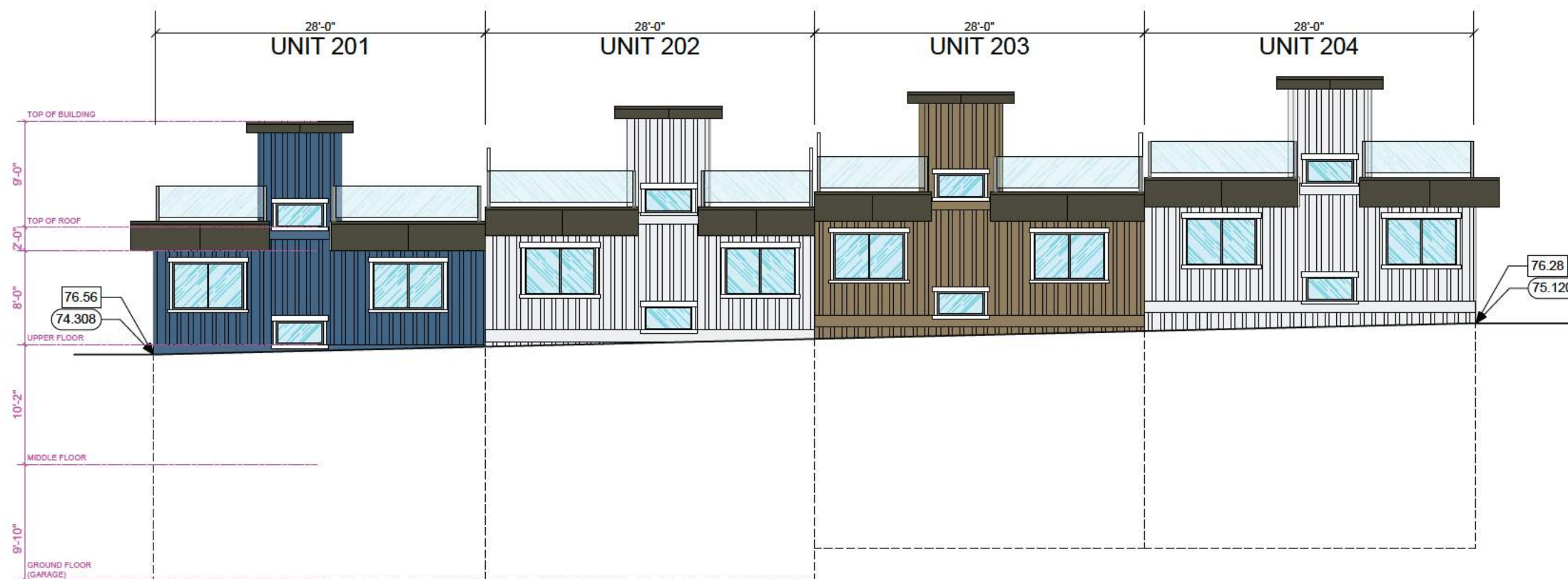
**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
 BUILDING #1
 SIDE ELEVATIONS**

SCALE: 1/4" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP311



**BUILDING #2
FRONT ELEVATION (EAST)**



**BUILDING #2
REAR ELEVATION (WEST)**

88.123 INDICATES EXISTING GRADE
88.123 INDICATES FINISHED GRADE

22/09/27	DESIGN DEVELOPMENT
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**THE ARKELL
RESIDENTIAL DEVELOPMENT
670 FARRELL ROAD
LADYSMITH, BC
DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
BUILDING #2
FRONT & REAR ELEVATION**

SCALE:	3/16" = 1'-0"	DRAWING NO.:	DP320
DATE:	24/03/29		

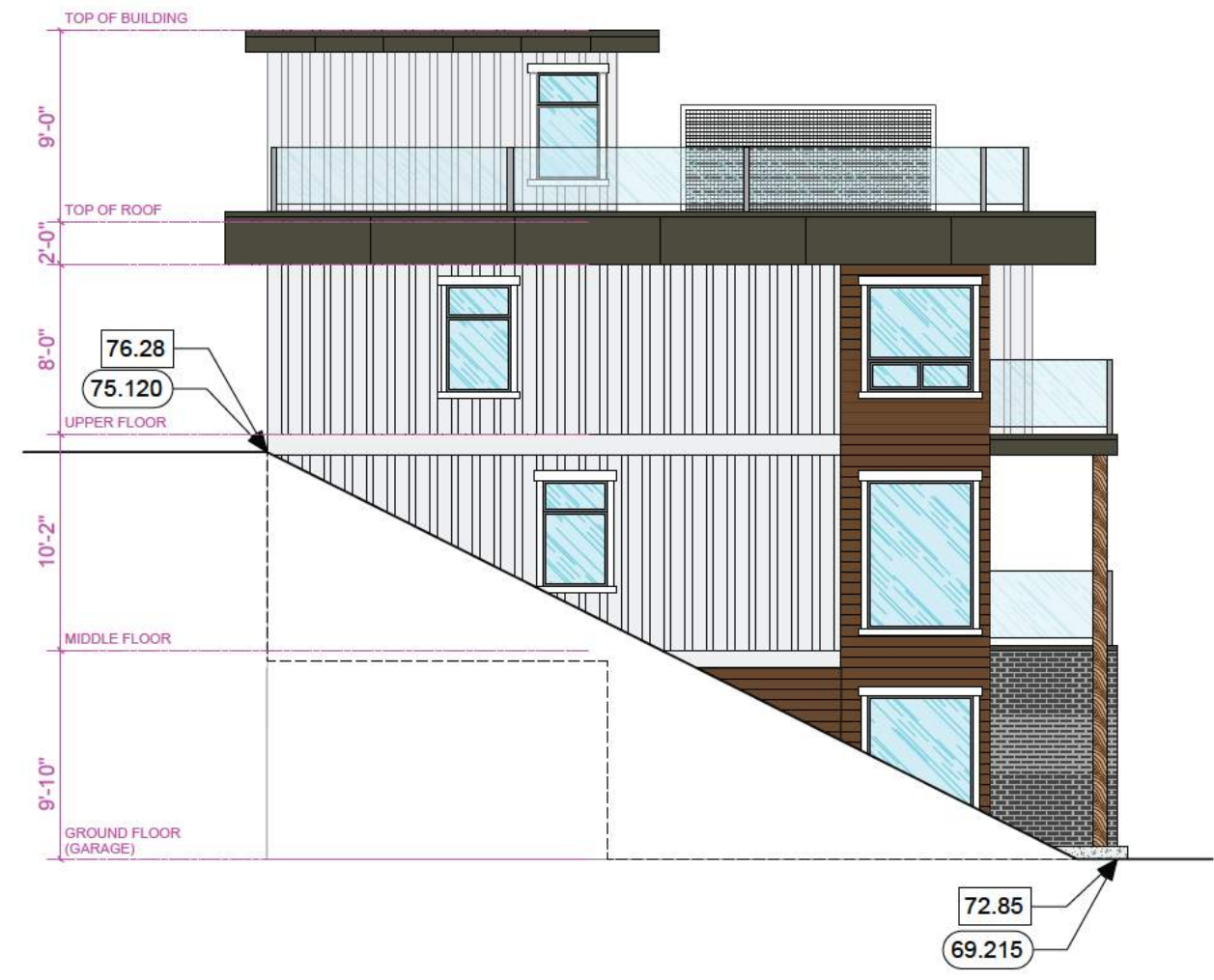
22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
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SIDE ELEVATION (NORTH)



SIDE ELEVATION (SOUTH)

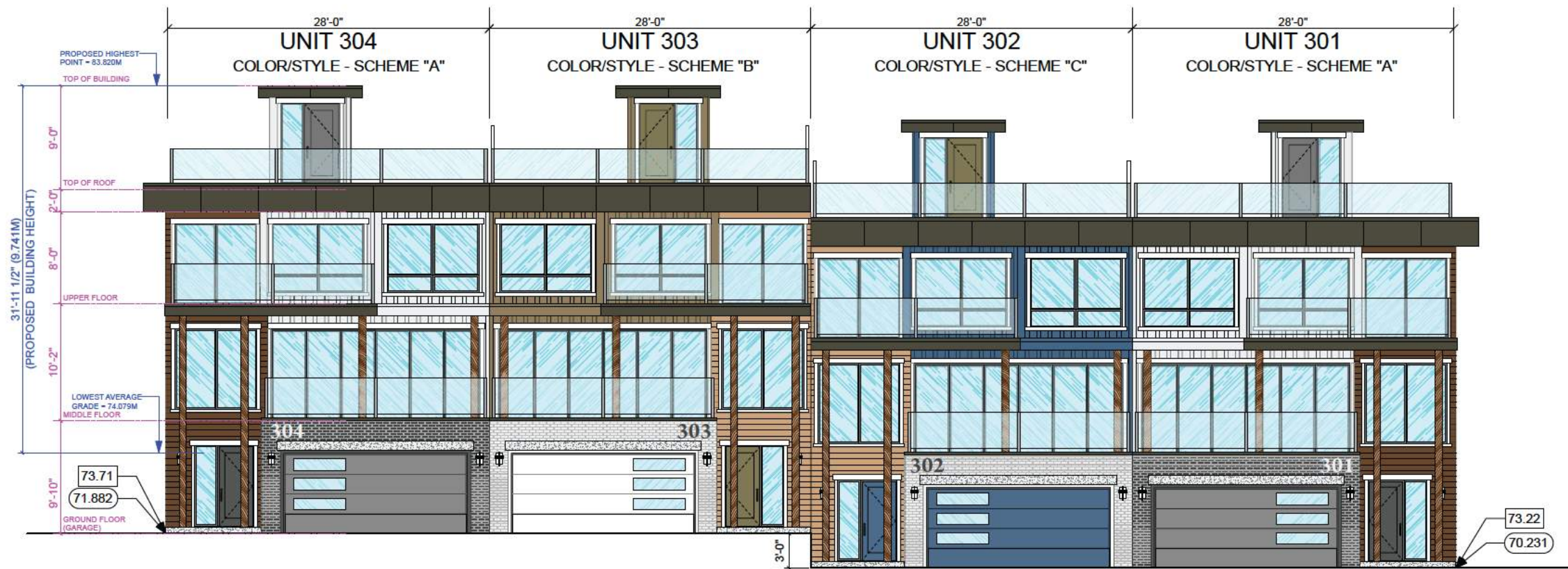
88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

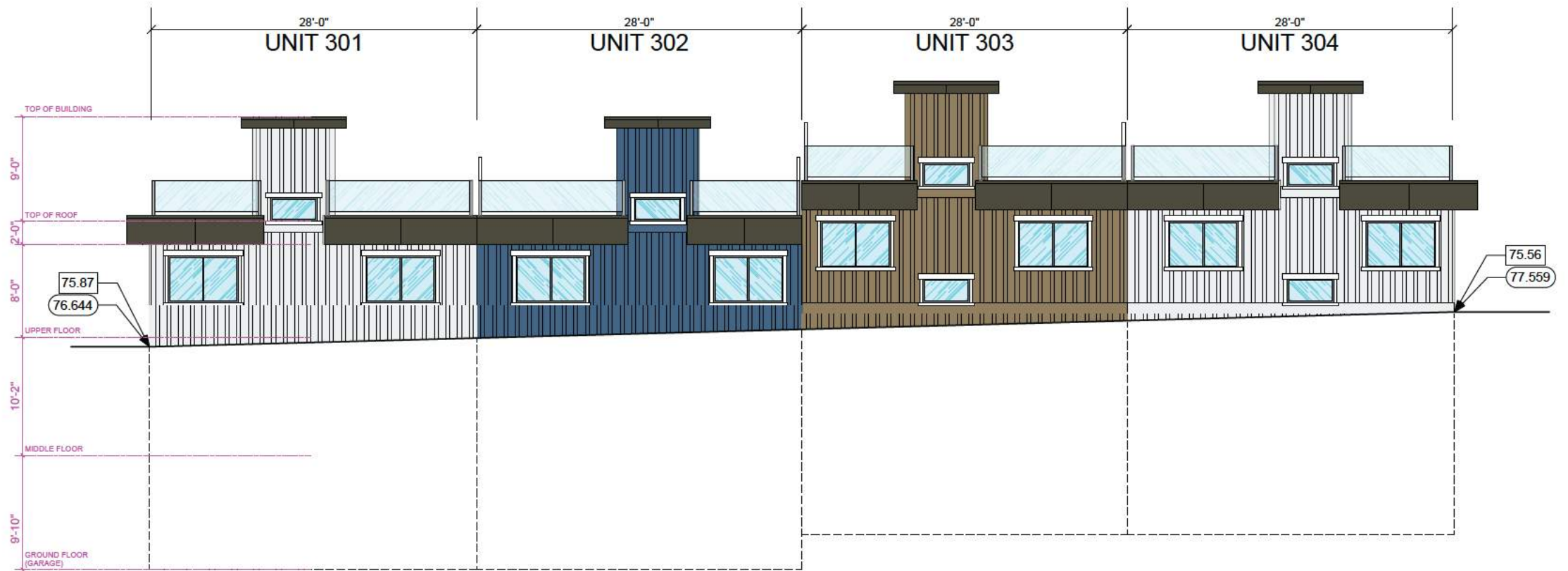
TITLE:
**TOWNHOME
 BUILDING #2
 SIDE ELEVATIONS**

SCALE: 1/4" = 1'-0"
 DATE: 24/03/29

DRAWING NO.:
DP321



**BUILDING #3
FRONT ELEVATION (EAST)**



**BUILDING #3
REAR ELEVATION (WEST)**

88.123 INDICATES EXISTING GRADE
88.123 INDICATES FINISHED GRADE

22/09/27	DESIGN DEVELOPMENT
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**THE ARKELL
RESIDENTIAL DEVELOPMENT
670 FARRELL ROAD
LADYSMITH, BC
DEVELOPMENT PERMIT #DP22-14**

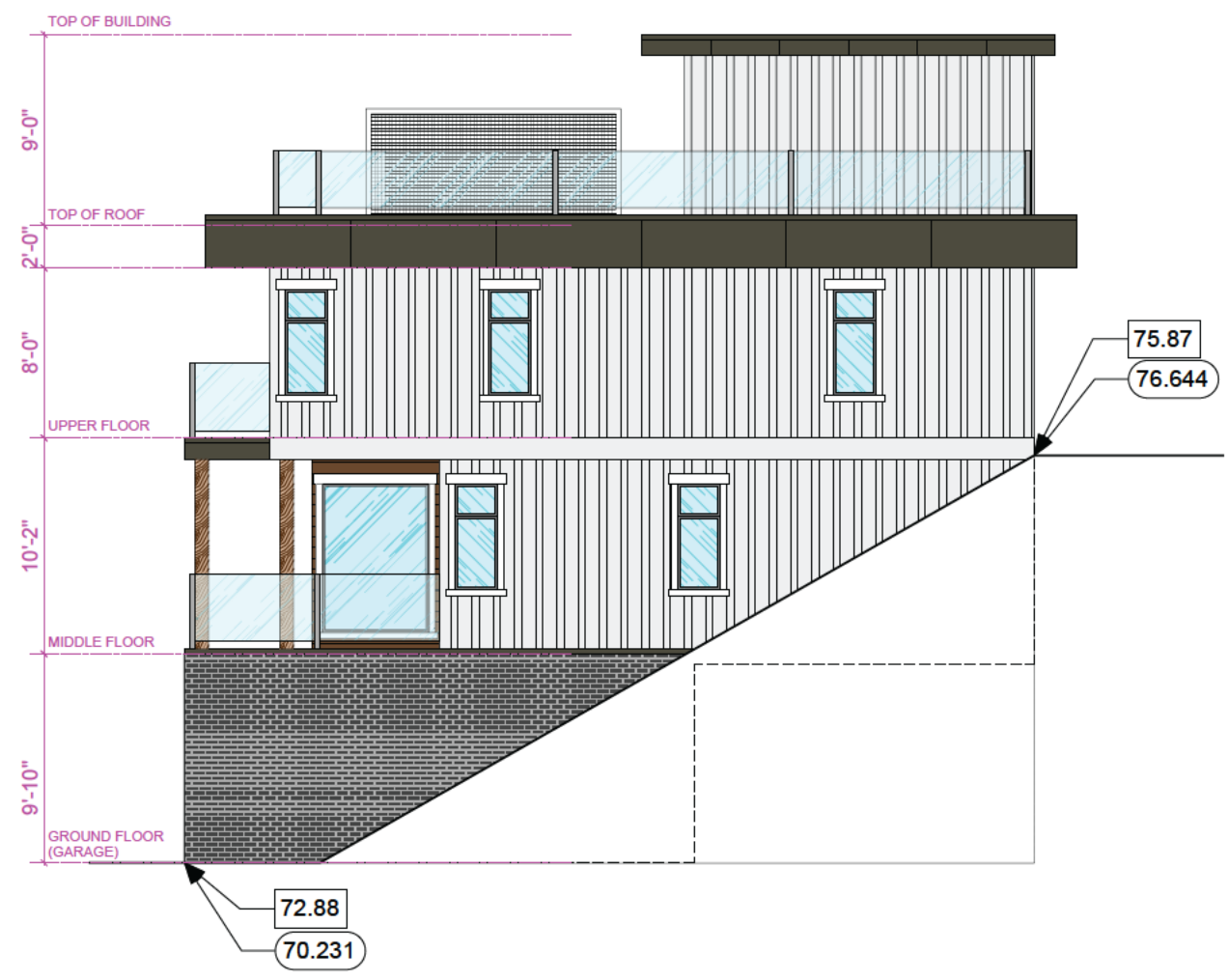
TITLE:
**TOWNHOME
BUILDING #3
FRONT & REAR ELEVATION**

SCALE:	3/16" = 1'-0"	DRAWING NO.:	DP330
DATE:	24/03/29		

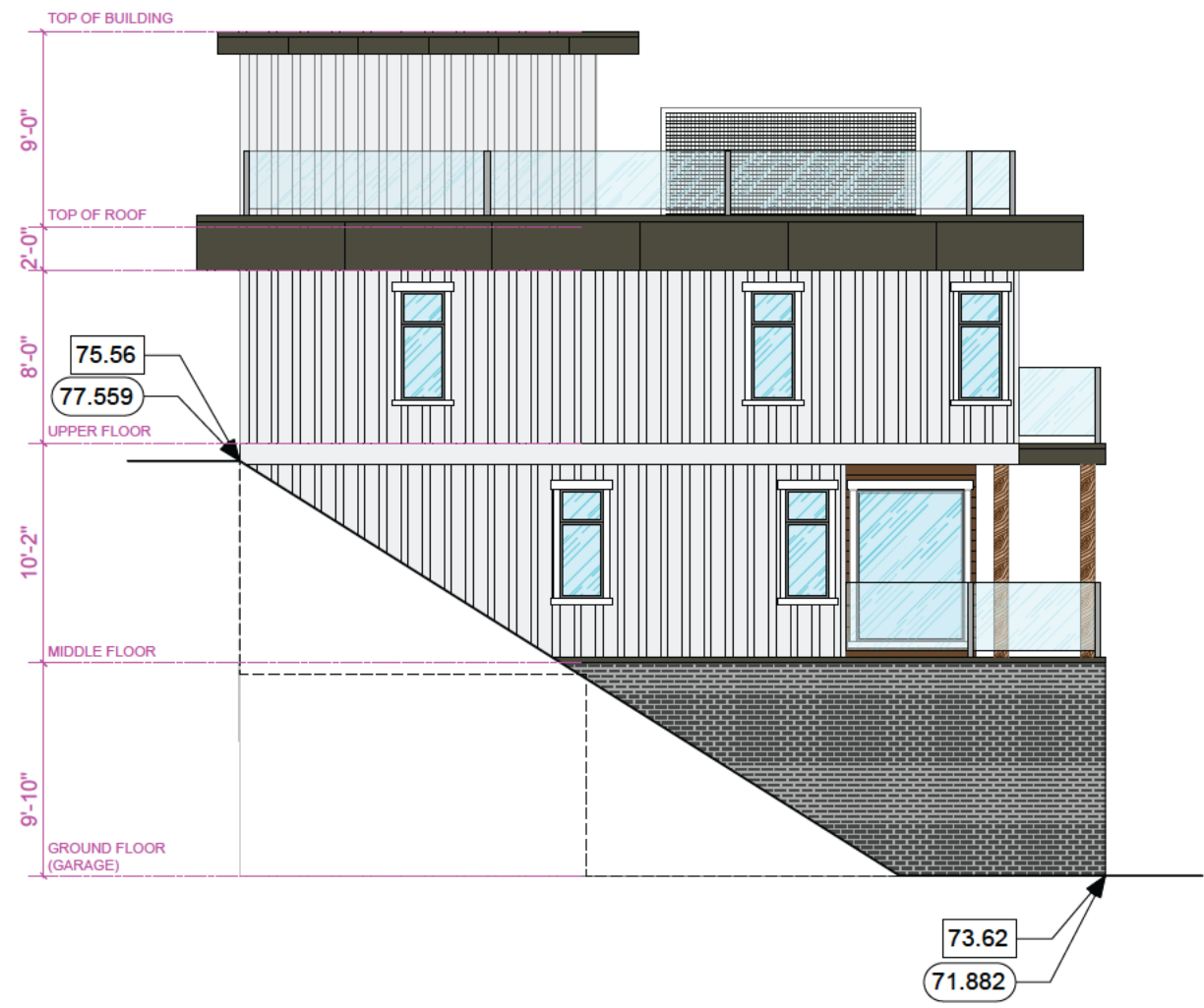
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SIDE ELEVATION (NORTH)



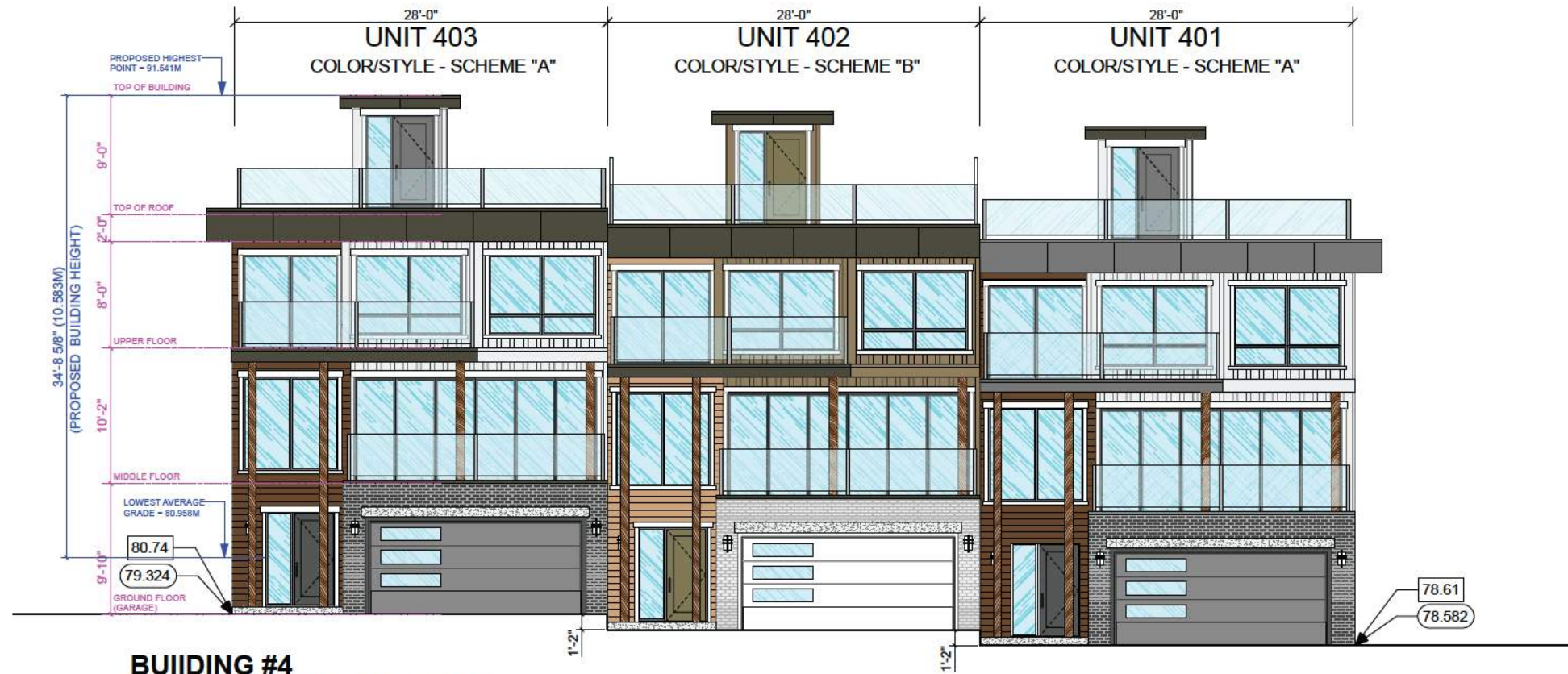
SIDE ELEVATION (SOUTH)

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

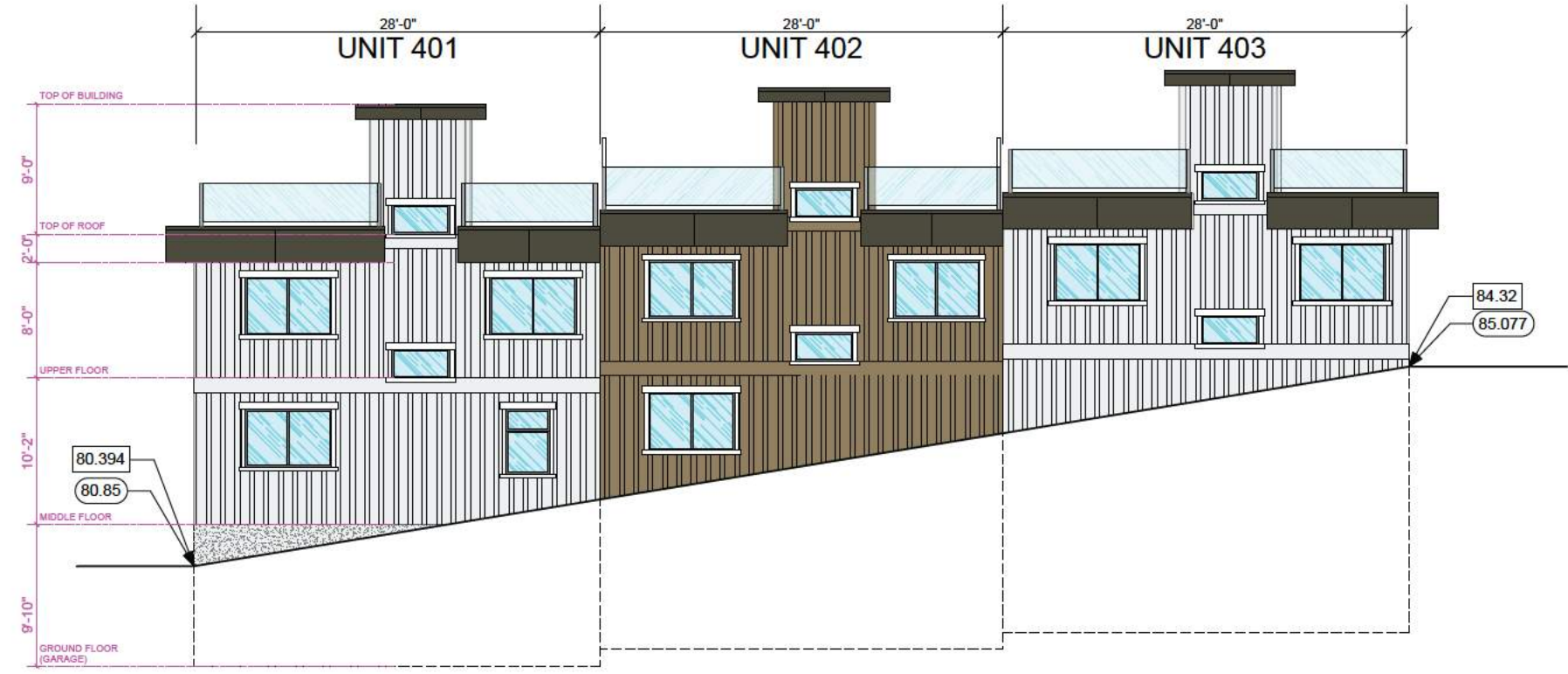
**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
 BUILDING #3
 SIDE ELEVATIONS**

SCALE: 1/4" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP331



**BUILDING #4
FRONT ELEVATION (EAST)**



**BUILDING #4
REAR ELEVATION (WEST)**

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

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**THE ARKELL
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 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
 BUILDING #4
 FRONT & REAR ELEVATION**

SCALE: 3/16" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP340

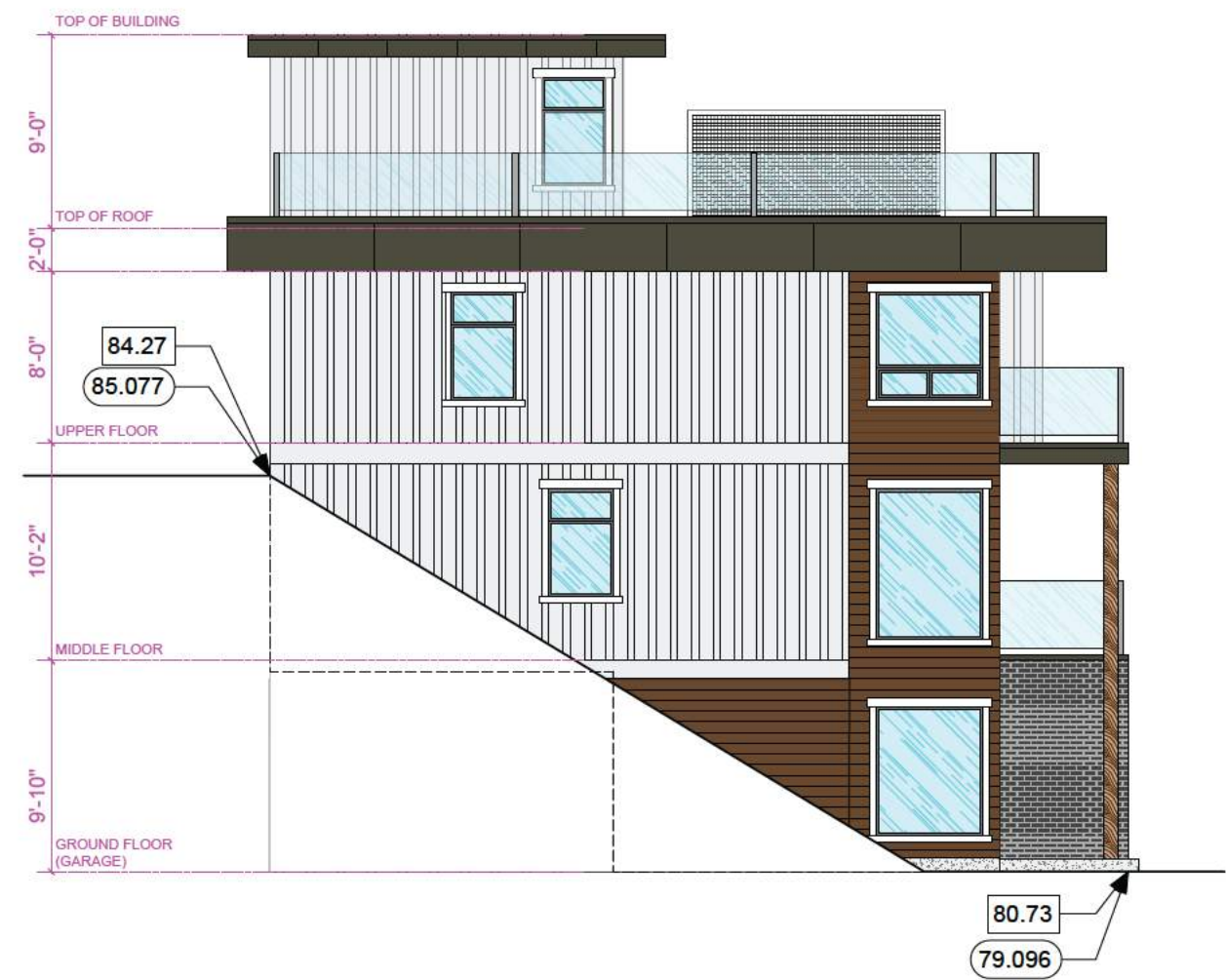
22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
23/09/16	DEVELOPMENT PERMIT COORDINATION
23/09/25	FINAL DESIGN
23/10/27	DEVT PHASING PLAN
23/12/01	ISSUED FOR DEVELOPMENT PERMIT
24/01/07	SITE FORMATION
24/01/27	MAJOR SITE REVISION PER DP COMMENTS
24/02/01	REVISED PER SITE SURVEY (GRADES) UPDATE
24/02/08	UPDATE SITE SECTIONS
24/02/16	UPDATE SITE PLAN W/FIRE TRUCK PATH
24/03/03	ADD FIRE TRUCK TURNAROUND AND REDUCE SLOPES, REVISED SITE PLAN BLDGS 4, 5, 6 & 7, DELETE ONE UNIT
24/03/14	REVISED DRIVEWAYS, RET WALLS, ROAD SLOPES
24/03/29	REVISED BLDGSDRIVEWAYS 1, 2 & 3, REV GRADEHEIGHTS

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ARCHITECT:
G3 ARCHITECTURE INC.
 #130 - 1959 - 152ND STREET
 SURREY, B.C.
 V4A 0C4
 TEL: 604-916-8582
 EMAIL: gus@g3projects.com



SIDE ELEVATION (NORTH)



SIDE ELEVATION (SOUTH)

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

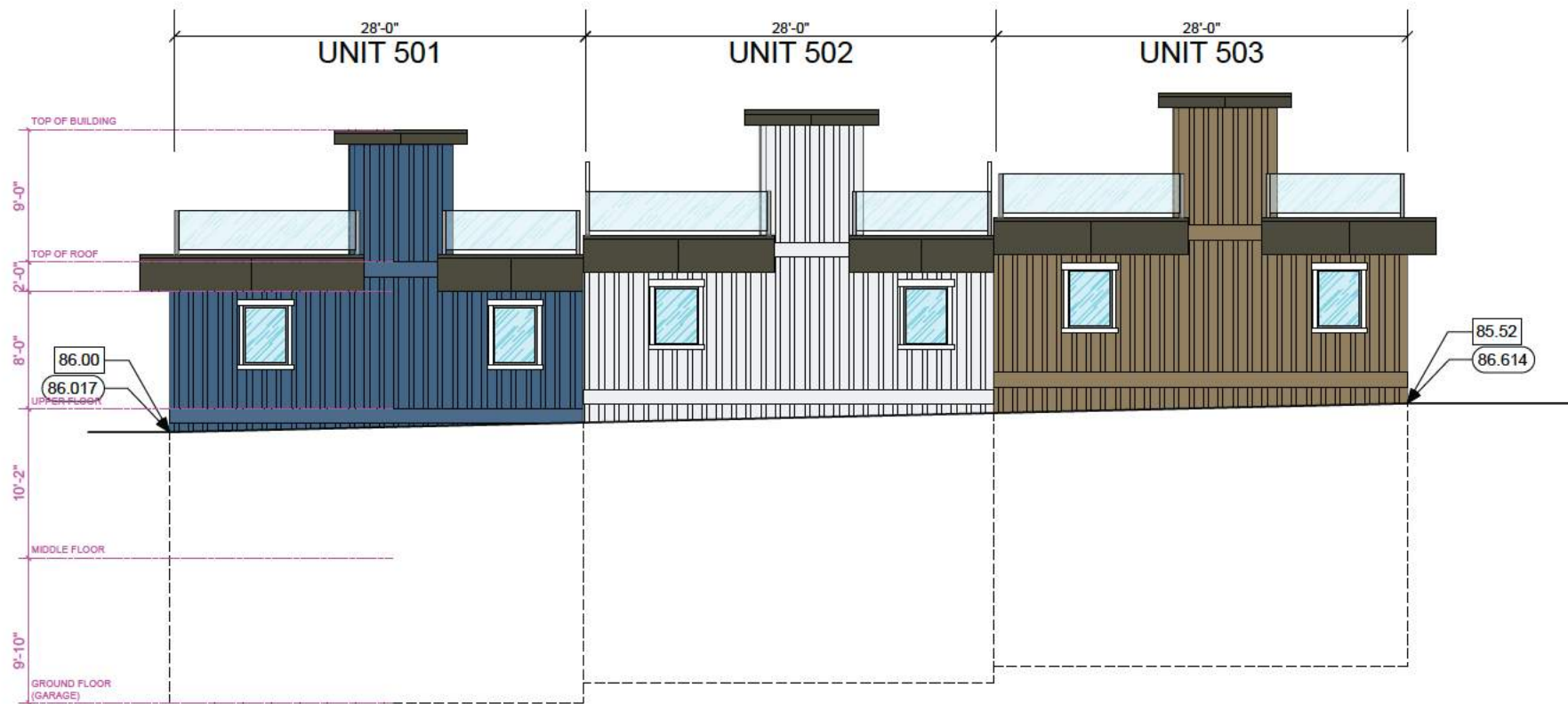
TITLE:
**TOWNHOME
 BUILDING #4
 SIDE ELEVATIONS**

SCALE: 1/4" = 1'-0"
 DATE: 24/03/29

DRAWING NO.:
DP341



**BUILDING #5
FRONT ELEVATION (EAST)**



**BUILDING #5
REAR ELEVATION (WEST)**

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
23/09/16	DEVELOPMENT PERMIT COORDINATION
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**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

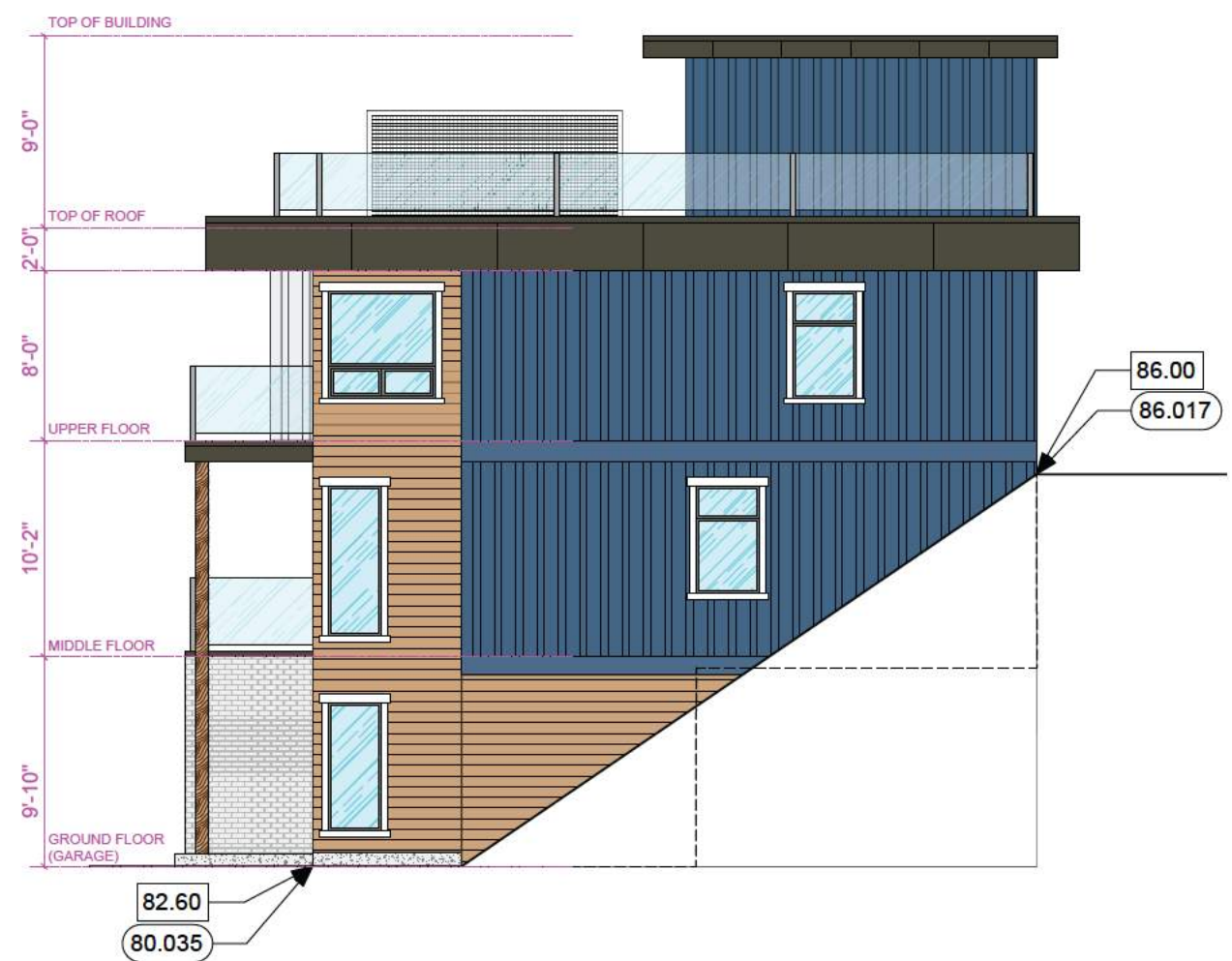
TITLE:
**TOWNHOME
 BUILDING #5
 FRONT & REAR ELEVATION**

SCALE: 3/16" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP350

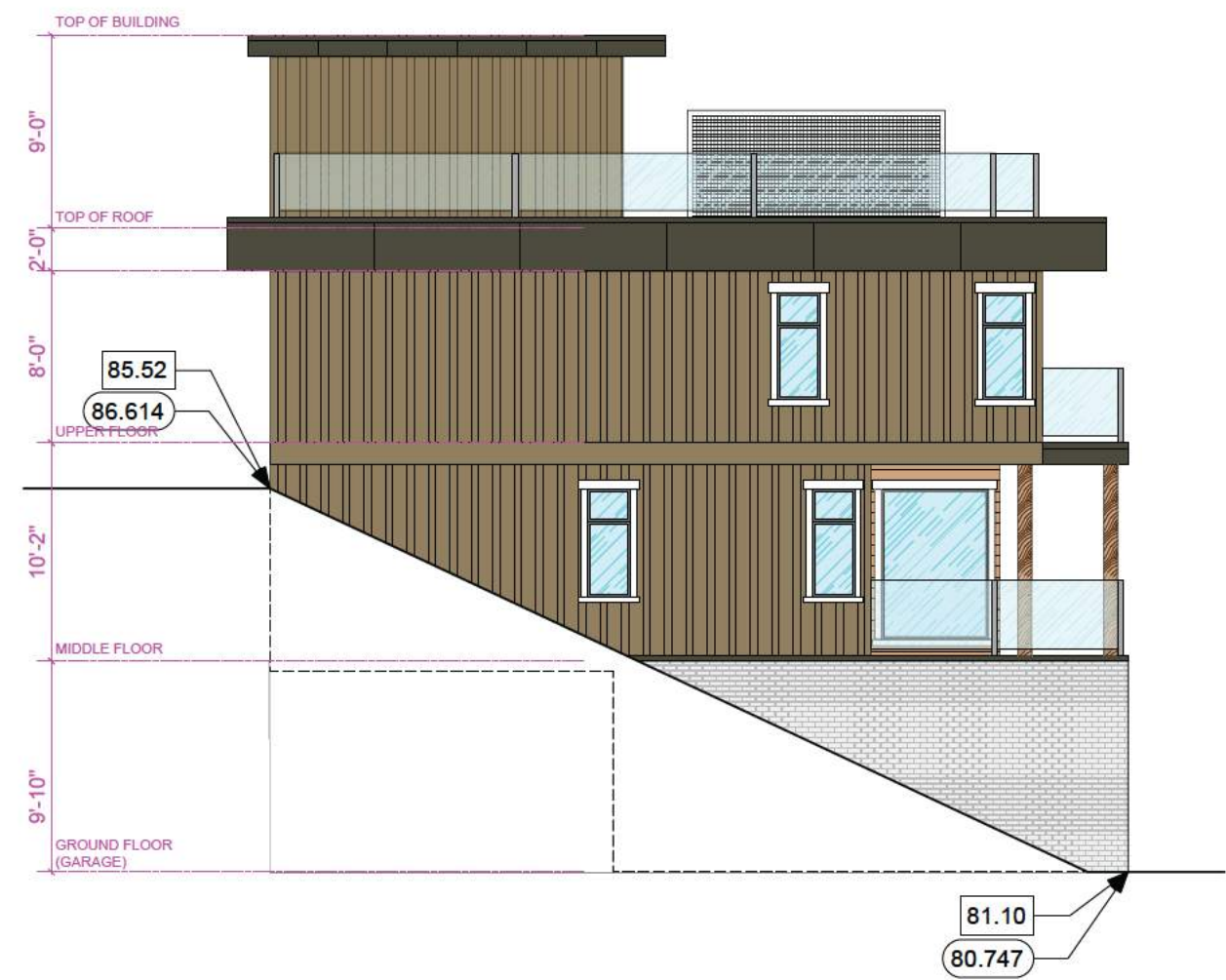
22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
23/09/16	DEVELOPMENT PERMIT COORDINATION
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SIDE ELEVATION (NORTH)



SIDE ELEVATION (SOUTH)

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

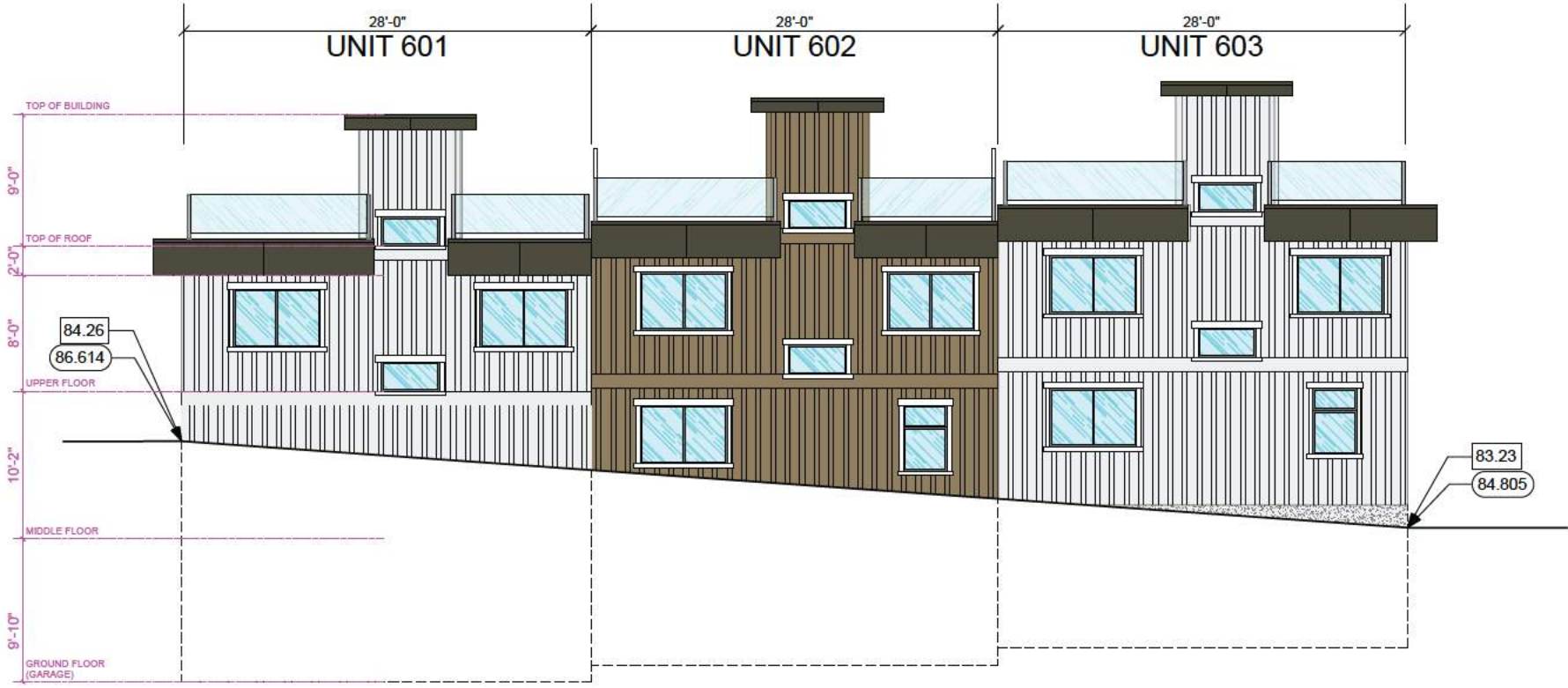
**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
 BUILDING #5
 SIDE ELEVATIONS**

SCALE: 1/4" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP351



**BUILDING #6
FRONT ELEVATION (EAST)**



**BUILDING #6
REAR ELEVATION (WEST)**

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
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**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
 BUILDING #6
 FRONT & REAR ELEVATION**

SCALE: 3/16" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP360

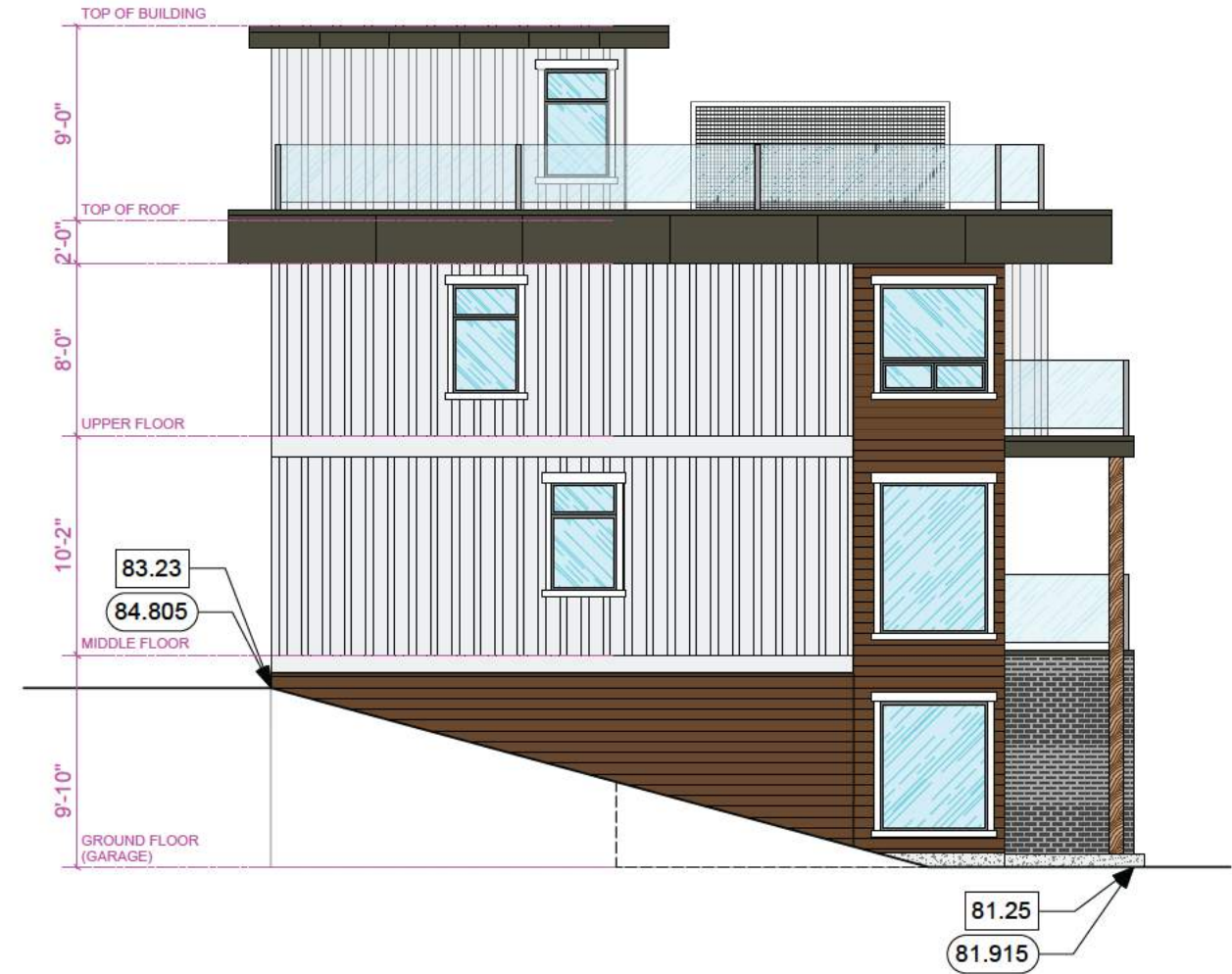
22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
23/09/16	DEVELOPMENT PERMIT COORDINATION
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SIDE ELEVATION (NORTH)



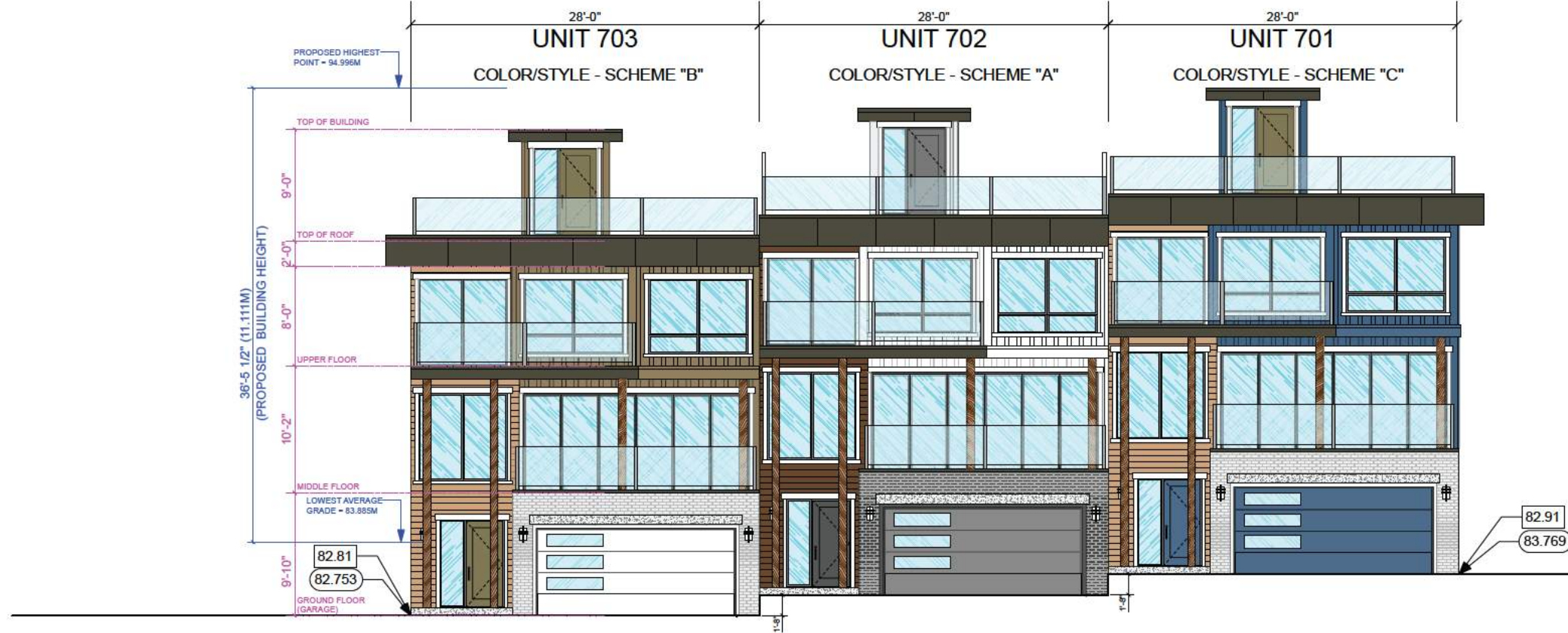
SIDE ELEVATION (SOUTH)

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

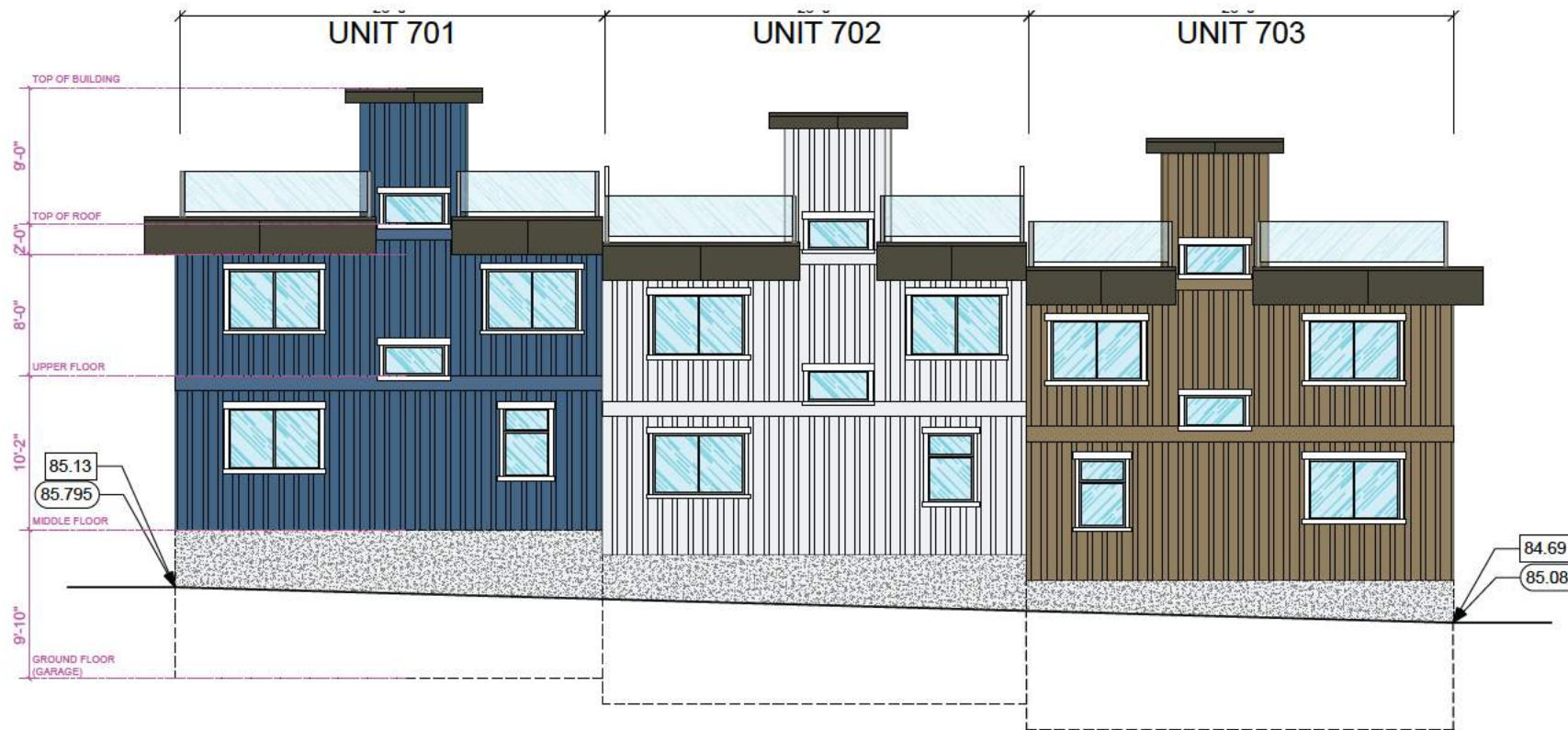
**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
 BUILDING #6
 SIDE ELEVATIONS**

SCALE: 1/4" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP361



**BUILDING #7
FRONT ELEVATION (EAST)**



**BUILDING #7
REAR ELEVATION (WEST)**

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

22/09/27	DESIGN DEVELOPMENT
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**THE ARKELL
RESIDENTIAL DEVELOPMENT**
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14

TITLE:
**TOWNHOME
BUILDING #7
FRONT & REAR ELEVATION**

SCALE: 3/16" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP370

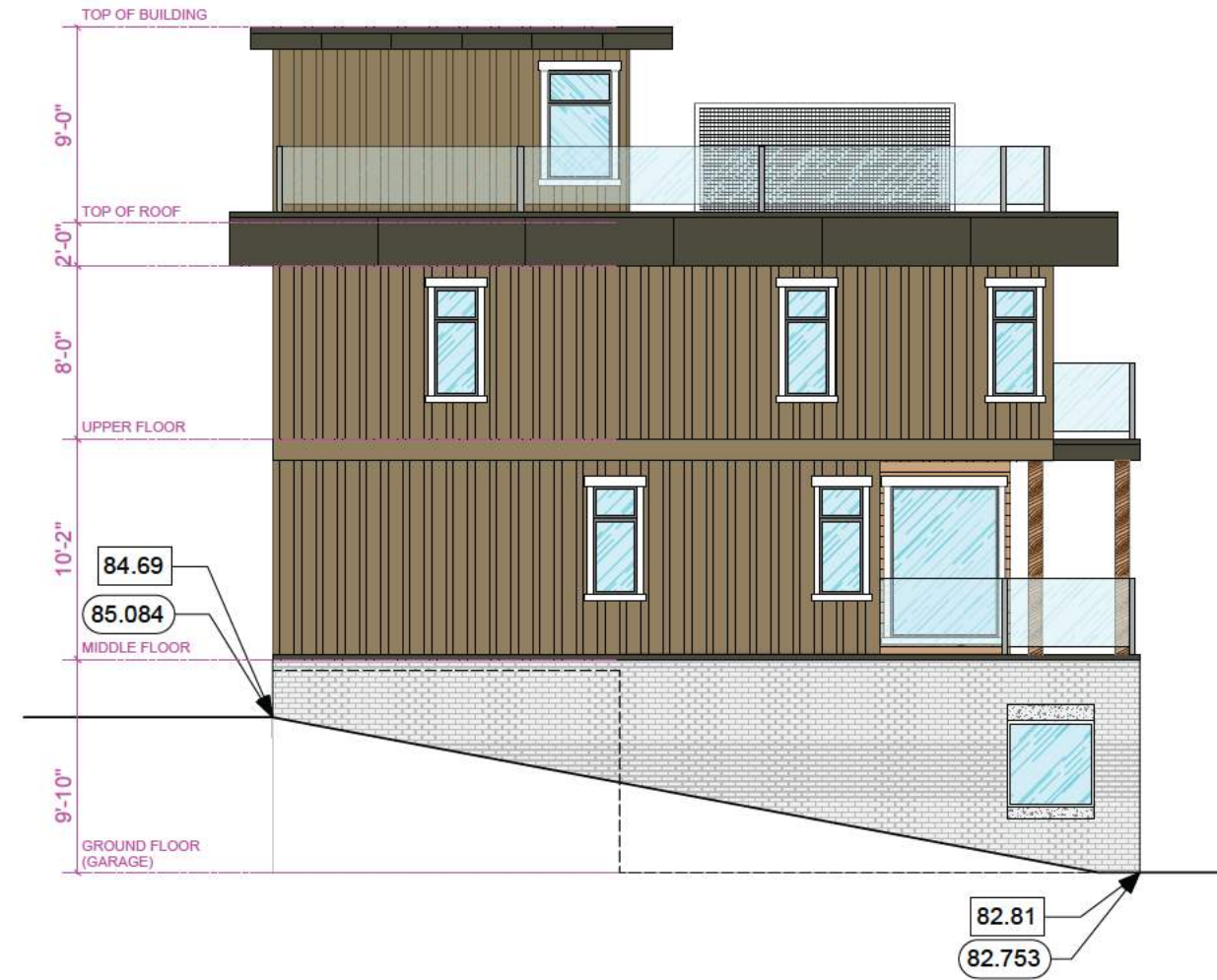
22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
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SIDE ELEVATION (NORTH)



SIDE ELEVATION (SOUTH)

88.123 INDICATES EXISTING GRADE
 88.123 INDICATES FINISHED GRADE

**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TOWNHOME
 BUILDING #7
 SIDE ELEVATIONS**

SCALE: 1/4" = 1'-0"
 DATE: 24/03/29
 DRAWING NO.: **DP371**

PAIN T FINISH: DOORS
 COLOR: SW9163 TIN LIZZIE
 (MED GRAY)

PAIN T FINISH: TRIMS, FASCIA S, COLUMNS...
 COLOR: SW7005 - PURE WHITE

HARDIPLANK SMOOTH
 HORIZONTAL 5" LAP SIDING
 COLOR: WEATHERED CLIFFS

THIN BRICK VENEER
 IXL - INTERSTATE
 COLOR: CANYON ROSE
 STANDARD SIZE

BUILT-UP FASCIA & CAP FLASHING
 COLOR: SW7005 - PURE WHITE

SOFFITS (TYPICAL)
 PERFORATED ALUMINUM
 COLOR SW7005 - PURE WHITE

CHEMCREST DECORATIVE COLUMNS
 PAINT FINISH
 COLOR SW7005 - PURE WHITE

BUILT-UP FASCIA & CAP FLASHING
 COLOR: SW7005 - PURE WHITE

THIN BRICK VENEER
 IXL - INTERSTATE
 COLOR: CANYON ROSE
 STANDARD SIZE

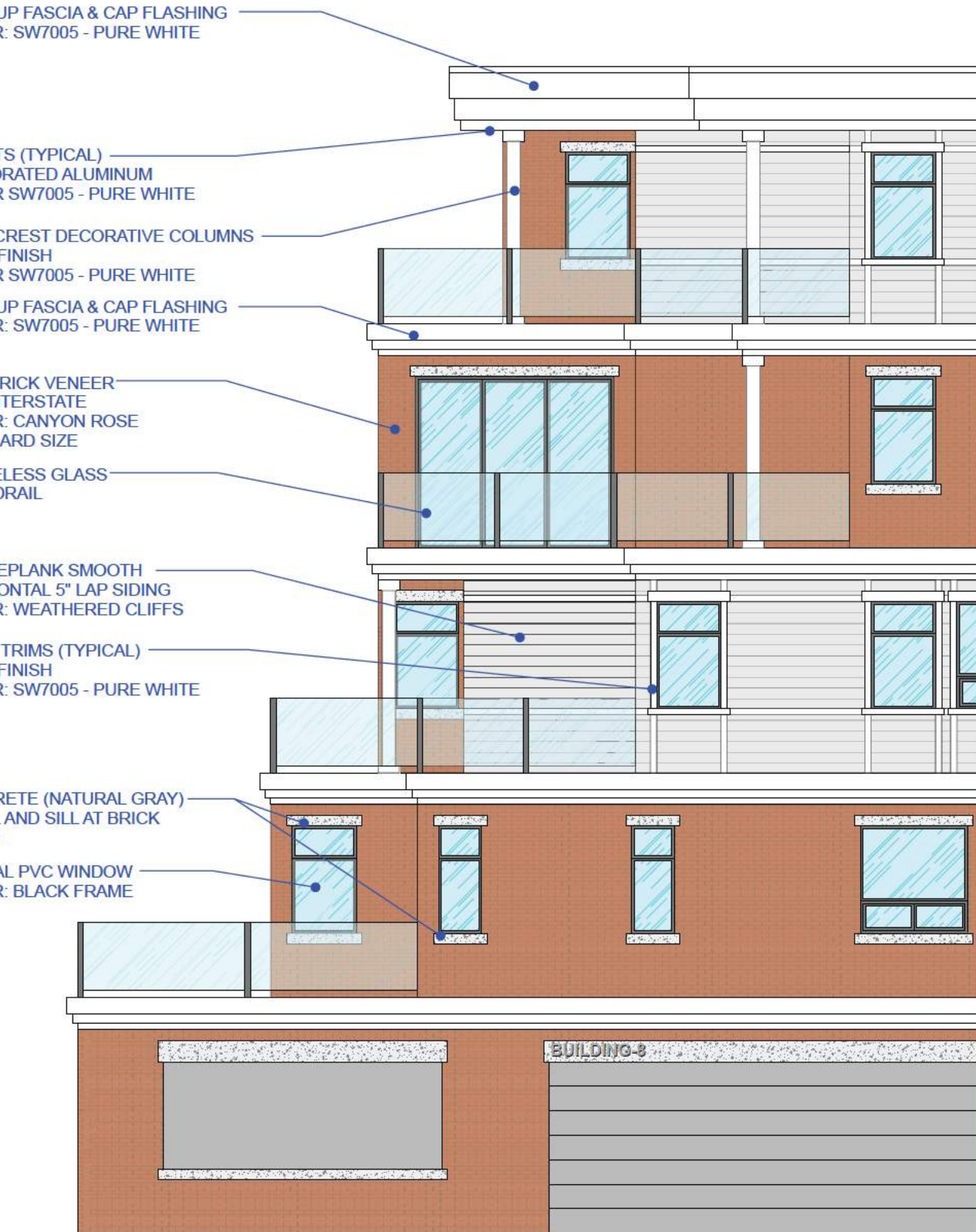
FRAMELESS GLASS
 GUARDRAIL

HARDIPLANK SMOOTH
 HORIZONTAL 5" LAP SIDING
 COLOR: WEATHERED CLIFFS

HARDI TRIMS (TYPICAL)
 PAINT FINISH
 COLOR: SW7005 - PURE WHITE

CONCRETE (NATURAL GRAY)
 LINTEL AND SILL AT BRICK
 FINISH

TYPICAL PVC WINDOW
 COLOR: BLACK FRAME



NOTE:

NO DARK OR REFLECTIVE GLAZING TO BE USED AT WINDOWS.

WINDOWS FACING HIGHWAY (FARRELL ROAD) TO INCORPORATE
 SOUND REDUCING GLASS TO MITIGATE NOISE. FINAL
 SPECIFICATIONS TO BE REVIEWED PRIOR TO CONSTRUCTION

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**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TYPICAL EXTERIOR FINISHES
 APARTMENT BUILDINGS
 BUILDING 8 & 9**

SCALE:	N.T.S.	DRAWING NO.:
DATE:	24/03/29	DP500

PT-1
 PAINT FINISH: BOARD N BATTEN
 COLOR: SW7050 - USEFUL GRAY

PT-2
 PAINT FINISH: BOARD N BATTEN
 COLOR: SW7514 - FOOTHILLS

PT-3
 PAINT FINISH: ENTRY DOOR, FASCIA
 COLOR: SW7020 - BLACK FOX

PT-4
 PAINT FINISH: GARAGE DOOR & TRIM
 COLOR: SW7019 - GAUNTLET GRAY

PT-5
 PAINT FINISH: BOARD N BATTEN /
 DOORS, GARAGE DOOR
 COLOR: SW6523 - DENIM

PT-6
 PAINT FINISH: GARAGE DOOR/TRIMS
 COLOR: SW7005 - PURE WHITE

HARDI PANEL
 BOARD N BATTEN
 COLOR: AS INDICATED

LONGBOARD
 ALUMINUM SIDING
 4" V-GROOVE
 COLOR: DARK WALNUT - DWL

DOUGLAS FIR TIMBERS
 NATURAL CLEAR STAINED

CS-1
 ELDORADO STONE
 TUNDRA BRICK - IRONSIDE

TRIMS AND CAP FLASHING
 COLOR: PT-3

FASCIA
 COLOR: PT-3

SOFFITS (TYPICAL)
 1X6 T&G NATURAL DOUGLAS FIR

HARDIE PANEL - BOARD N BATTEN
 COLOR: PT-1

FRAMELESS GLASS
 GUARDRAIL

FASCIA
 COLOR: PT-3

LONGBOARD ALUMINUM SIDING
 4" V-GROOVE
 COLOR: DARK WALNUT - DWL

TYPICAL WOOD PAINTED
 WINDOW TRIMS (1X4, 1X6...)
 COLOR: PT-6

TYPICAL PVC WINDOW
 COLOR: BLACK FRAME
 DOUGLAS FIR TIMBERS
 NATURAL CLEAR STAINED

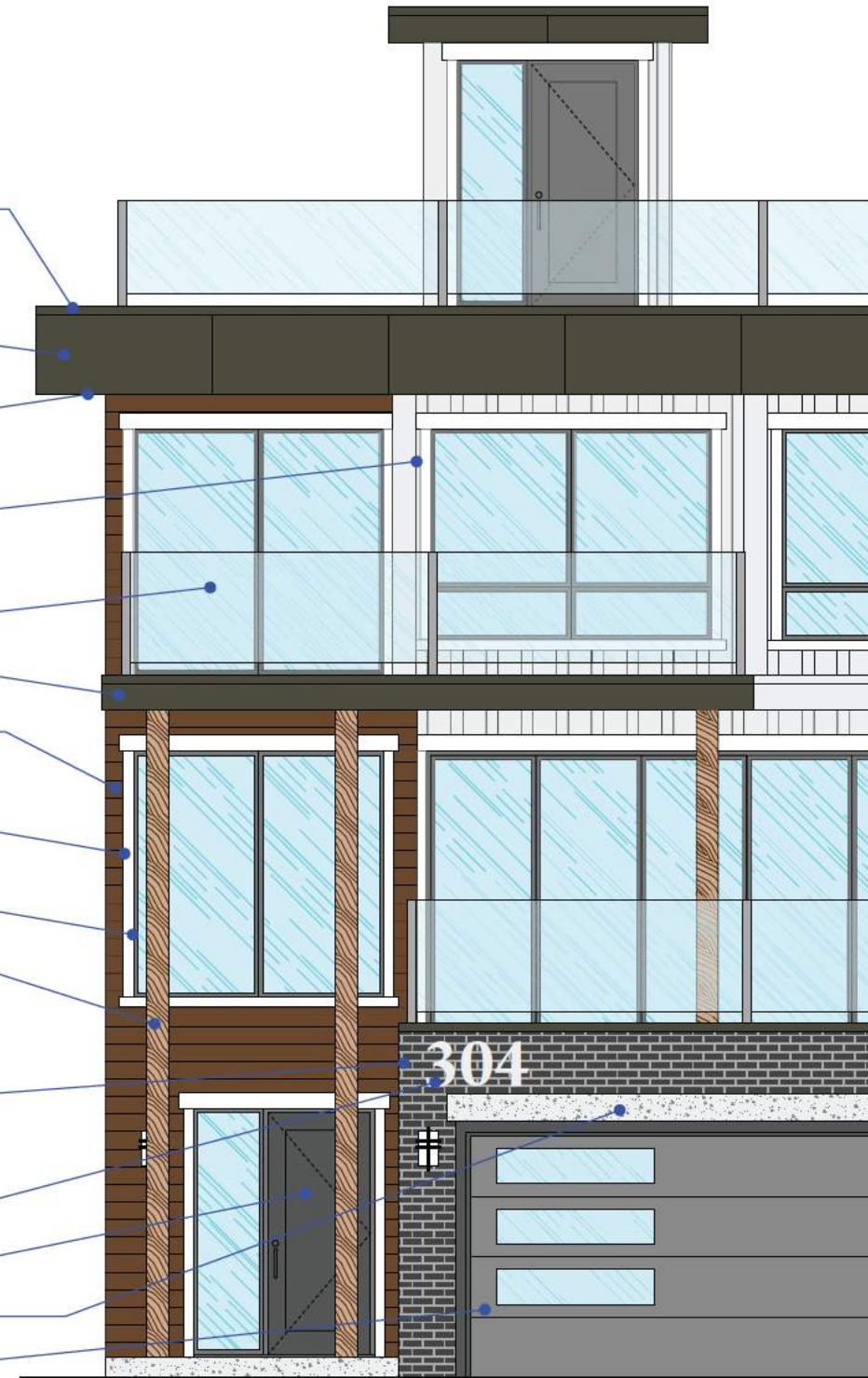
CULTURED STONE CLADDING
 COLOR: CS-1

RAISED STAINLESS STEEL
 UNIT NUMBERS - 16" HIGH

ENTRY DOOR PAINT FINISH
 COLOR - PT-3

CONCRETE (NATURAL GRAY) LINTEL

GARAGE DOOR PAINT FINISH
 COLOR - PT-4



NOTE:

NO DARK OR REFLECTIVE GLAZING TO BE USED AT WINDOWS.

WINDOWS FACING HIGHWAY (FARRELL ROAD) TO INCORPORATE
 SOUND REDUCING GLASS TO MITIGATE NOISE. FINAL
 SPECIFICATIONS TO BE REVIEWED PRIOR TO CONSTRUCTION

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**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TYPICAL EXTERIOR FINISHES
 TOWNHOUSES
 SCHEME A**

SCALE:	N.T.S.	DRAWING NO.:	DP510
DATE:	24/03/29		

PT-1
 PAINT FINISH: BOARD N BATTEN
 COLOR: SW7050 - USEFUL GRAY

PT-2
 PAINT FINISH: BOARD N BATTEN
 COLOR: SW7514 - FOOTHILLS

PT-3
 PAINT FINISH: ENTRY DOOR, FASCIA
 COLOR: SW7020 - BLACK FOX

PT-4
 PAINT FINISH: GARAGE DOOR & TRIM
 COLOR: SW7019 - GAUNTLET GRAY

PT-5
 PAINT FINISH: BOARD N BATTEN /
 DOORS, GARAGE DOOR
 COLOR: SW6523 - DENIM

PT-6
 PAINT FINISH: GARAGE DOOR/TRIMS
 COLOR: SW7005 - PURE WHITE

HARDI PANEL
 BOARD N BATTEN
 COLOR: AS INDICATED

LONGBOARD
 ALUMINUM SIDING
 4" V-GROOVE
 COLOR: LIGHT FIR - LFR

DOUGLAS FIR TIMBERS
 NATURAL CLEAR STAINED

CS-2
 ELDORADO STONE
 TUNDRA BRICK - CHALK DUST

TRIMS AND CAP FLASHING
 COLOR: PT-3

FASCIA
 COLOR: PT-3

SOFFITS (TYPICAL)
 1X6 T&G NATURAL DOUGLAS FIR

HARDIE PANEL - BOARD N BATTEN
 COLOR: PT-2

FRAMELESS GLASS
 GUARDRAIL
 FASCIA
 COLOR: PT-3

LONGBOARD ALUMINUM SIDING
 4" V-GROOVE
 COLOR: LIGHT FIR - LFR

TYPICAL WOOD PAINTED
 WINDOW TRIMS (1X4, 1X6...)
 COLOR: PT-6

TYPICAL PVC WINDOW
 COLOR: BLACK FRAME

DOUGLAS FIR TIMBERS
 NATURAL CLEAR STAINED

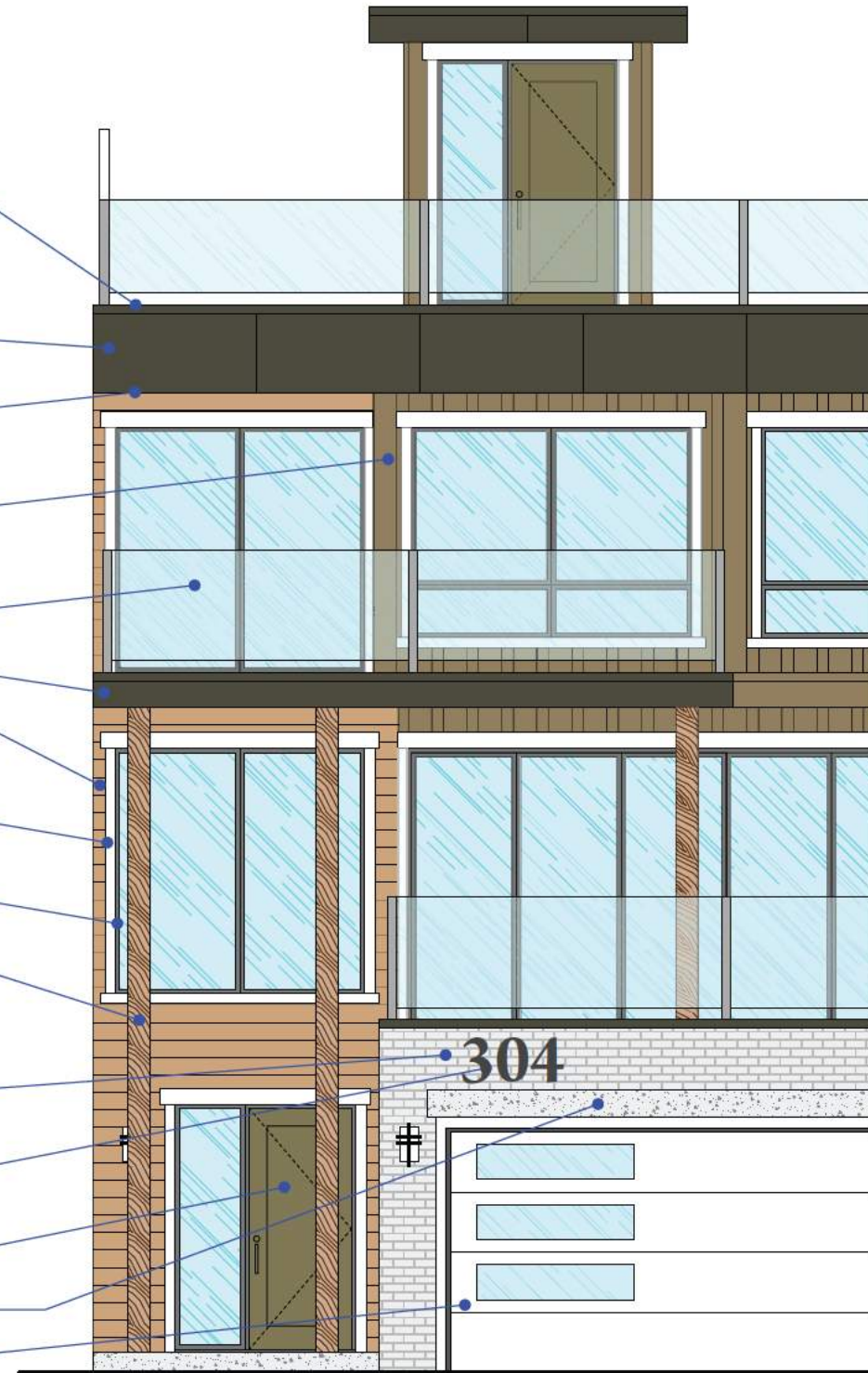
CULTURED STONE CLADDING
 COLOR: CS-2

RAISED STAINLESS STEEL
 UNIT NUMBERS - 16" HIGH

ENTRY DOOR PAINT FINISH
 COLOR - PT-2

CONCRETE (NATURAL GRAY) LINTEL

GARAGE DOOR PAINT FINISH
 COLOR - PT-6



NOTE:

NO DARK OR REFLECTIVE GLAZING TO BE USED AT WINDOWS.

WINDOWS FACING HIGHWAY (FARRELL ROAD) TO INCORPORATE
 SOUND REDUCING GLASS TO MITIGATE NOISE. FINAL
 SPECIFICATIONS TO BE REVIEWED PRIOR TO CONSTRUCTION

22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
23/09/16	DEVELOPMENT PERMIT COORDINATION
23/09/25	FINAL DESIGN
23/10/27	DEVT PHASING PLAN
23/12/01	ISSUED FOR DEVELOPMENT PERMIT
24/01/07	SITE FORMATION
24/01/27	MAJOR SITE REVISION PER DP COMMENTS
24/02/01	REVISED PER SITE SURVEY (GRADES) UPDATE
24/02/08	UPDATE SITE SECTIONS
24/02/16	UPDATE SITE PLAN W/FIRE TRUCK PATH
24/03/03	ADD FIRE TRUCK TURNAROUND AND REDUCE SLOPES, REVISED SITE PLAN BLDGS 4, 5, 6 & 7, DELETE ONE UNIT
24/03/14	REVISED DRIVEWAYS, RET WALLS, ROAD SLOPES
24/03/29	REVISED BLDGDRIVEWAYS 1, 2 & 3, REV'D GRADEHEIGHTS

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 #130 - 1959 - 152ND STREET
 SURREY, B.C.
 V4A 0C4
 TEL: 604-916-8582
 EMAIL: gus@g3projects.com

**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TYPICAL EXTERIOR FINISHES
 TOWNHOUSES
 SCHEME B**

SCALE: N.T.S.	DRAWING NO.:
DATE: 24/03/29	DP520

PT-1
 PAINT FINISH: BOARD N BATTEN
 COLOR: SW7050 - USEFUL GRAY

PT-2
 PAINT FINISH: BOARD N BATTEN
 COLOR: SW7514 - FOOTHILLS

PT-3
 PAINT FINISH: ENTRY DOOR, FASCIA
 COLOR: SW7020 - BLACK FOX

PT-4
 PAINT FINISH: GARAGE DOOR & TRIM
 COLOR: SW7019 - GAUNTLET GRAY

PT-5
 PAINT FINISH: BOARD N BATTEN /
 DOORS, GARAGE DOOR
 COLOR: SW6523 - DENIM

PT-6
 PAINT FINISH: GARAGE DOOR/TRIMS
 COLOR: SW7005 - PURE WHITE

HARDI PANEL
 BOARD N BATTEN
 COLOR: AS INDICATED

LONGBOARD
 ALUMINUM SIDING
 4" V-GROOVE
 COLOR: LIGHT FIR - LFR

DOUGLAS FIR TIMBERS
 NATURAL CLEAR STAINED

CS-2
 ELDORADO STONE
 TUNDRA BRICK - CHALK DUST

TRIMS AND CAP FLASHING
 COLOR: PT-3

FASCIA
 COLOR: PT-3

SOFFITS (TYPICAL)
 1X6 T&G NATURAL DOUGLAS FIR

HARDIE PANEL - BOARD N BATTEN
 COLOR: PT-5

FRAMELESS GLASS
 GUARDRAIL
 FASCIA
 COLOR: PT-3

LONGBOARD ALUMINUM SIDING
 4" V-GROOVE
 COLOR: LIGHT FIR - LFR

TYPICAL WOOD PAINTED
 WINDOW TRIMS (1X4, 1X6...)
 COLOR: PT-6

TYPICAL PVC WINDOW
 COLOR: BLACK FRAME
 DOUGLAS FIR TIMBERS
 NATURAL CLEAR STAINED

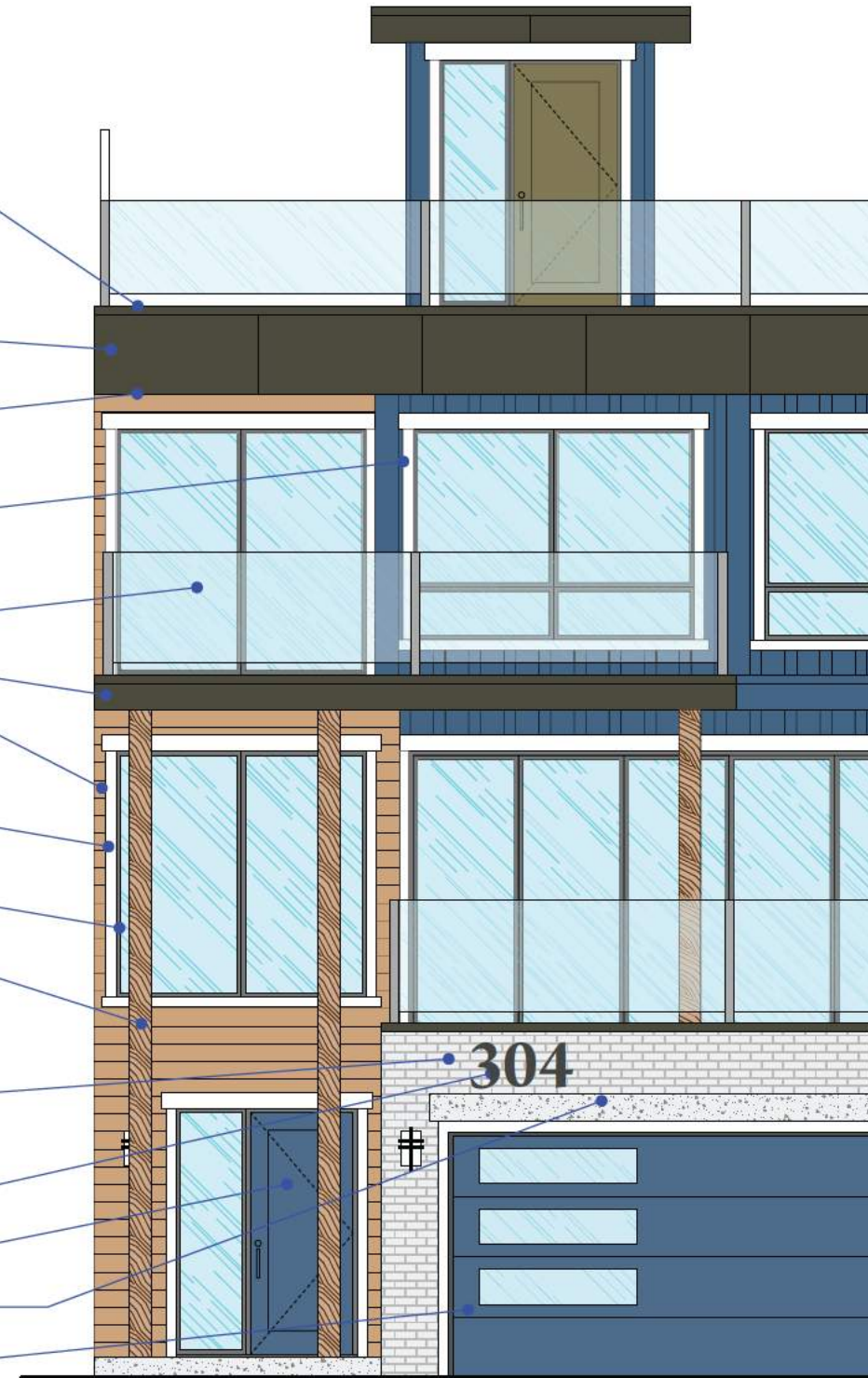
CULTURED STONE CLADDING
 COLOR: CS-2

RAISED STAINLESS STEEL
 UNIT NUMBERS - 16" HIGH

ENTRY DOOR PAINT FINISH
 COLOR - PT-5

CONCRETE (NATURAL GRAY) LINTEL

GARAGE DOOR PAINT FINISH
 COLOR - PT-5



NOTE:

NO DARK OR REFLECTIVE GLAZING TO BE USED AT WINDOWS.

WINDOWS FACING HIGHWAY (FARRELL ROAD) TO INCORPORATE
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 SPECIFICATIONS TO BE REVIEWED PRIOR TO CONSTRUCTION

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**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
**TYPICAL EXTERIOR FINISHES
 TOWNHOUSES
 SCHEME C**

SCALE:	N.T.S.	DRAWING NO.:	DP530
DATE:	24/03/29		

**Schedule D -
Landscape Plan**
DP 3060-22-07
670 Farrell Road
14 pages

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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:



- GENERAL IRRIGATION NOTES:**
- LANDSCAPE CONTRACTOR TO PROVIDE SEPARATE CONTRACT TO LANDSCAPE INSTALLATION.
 - ALL SOFT LANDSCAPE TO BE IRRIGATED WITH LOW FLOW IRRIGATION TO PLANTER BEDS, AND IN-GROUND SPRINKLER IRRIGATION TO LAWN AREAS.
 - IRRIGATION CONTRACTOR TO PROVIDE AN EFFICIENT DESIGN-BUILD AUTOMATIC SYSTEM TO IABC STANDARDS, WITH MOISTURE SENSORS, AUTOMATIC RAIN GAUGE.
 - SYSTEM ACCESSED WITHIN BUILDING, WITH A MAIN CONTROLLER.
 - REFER TO MECHANICAL AND ELECTRICAL CONSULTANT DRAWINGS FOR COORDINATION & FOR IRRIGATION SUB-OUT LOCATIONS.
 - IRRIGATION PLAN TO MEET OR EXCEED ALL RELEVANT REQUIREMENTS FOR MUNICIPAL APPROVAL.
 - IRRIGATION DESIGN TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT.

- GENERAL LANDSCAPE NOTES:**
- DRAWINGS TO BE READ IN CONJUNCTION WITH PMG 21-151, ADJACENT SUBDIVISION PLAN SHOWING TREE PLANTING IN ENVIRONMENTAL SETBACK.
 - NO BARK OR OTHER COMBUSTIBLE MULCH TO BE INSTALLED ON SITE.
 - TREES TO BE PLANTED MIN. 3000mm APART.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PMG PROJECT NUMBER: 23-178	PLANTED SIZE / REMARKS
TREE					
8		ACER GRISEUM	PAPERBARK MAPLE		2.5M HT, CLUMP B&B
8		ACER PALMATUM 'TWOMBLY'S RED'	TWOMBLY'S RED JAPANESE MAPLE		6CM CAL, 2.0M STD, B&B
13		ARBUTUS MENZIESII	PACIFIC MADRONE		#10 POT, TREE FORM
10		CORNUS NUTTALLII	PACIFIC DOGWOOD		2.0M HT, B&B
3		CRATAEGUS DOUGLASII	BLACK HAWTHORN		3.0M HT, B&B
14		FAGUS SYLVATICA 'DAWYCKI'	DAWYCK BEECH		5CM CAL; 1.5M MIN STD, B&B
19		FAGUS SYLVATICA 'ROHAN OBELISK'	ROHAN OBELISK BEECH		6CM CAL; 2.0M STD, B&B
1		GLEDITSIA T. INERMIS 'SUNCOLE'	SUNBURST HONEY LOCUST		5.0CM CAL; 1.5M STD, B&B
3		PINUS CONTORTA	SHORE PINE		6CM CAL; 1.8M STD, B&B; SPECIMEN
8		PRUNUS SERRULATA 'AMANOGAWA'	AMANOGAWA CHERRY		2.5M HT, B&B
4		PSUDOTSUGA MENZIESII	DOUGLAS FIR		6CM CAL; 2.0M STD, B&B
9		QUERCUS GARRRYANA	GARRY OAK		3.0M HT, B&B
5		SORBUS AUCUPARIA 'CARDINAL ROYAL'	CARDINAL ROYAL MOUNTAIN ASH		2.0M HT, B&B
8		STREET TREE A"	STREET TREE A"		6CM CAL; 2.0M STD; B&B
5		STREET TREE B"	STREET TREE B"		6CM CAL; 2.0M STD

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE VANCOUVER ISLAND. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

* NATIVE TREES - HABITAT SPECIES
**STREET TREE SPECIES AND VARIETY TO BE CONFIRMED BY LADYSMITH PARKS AND ENGINEERING DEPTS.

NO.	DATE	REVISION DESCRIPTION	DR.
3	24-04-25	DP RESUBMISSION	BJ
4	24-03-19	DP RESUBMISSION	BJ
3	24-03-05	DP RESUBMISSION	BJ
2	24-02-06	DP RESUBMISSION	BJ
3	24-01-15	SHRUB PLANTING SHEETS ADDED	BJ
-	23-12-04	DP SUBMISSION	-

ARCHITECT:
G3 ARCHITECTURE INC.

PROJECT:
**THE ARKELL
RESIDENTIAL DEVELOPMENT**
670 FARRELL ROAD
LADYSMITH, BC

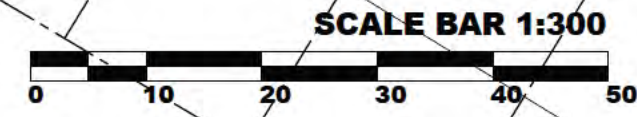
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DATE: 23.OCT.03 DRAWING NUMBER:
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DESIGN: BJ

CHKD: BA OF 14

PMG PROJECT NUMBER: 23-178



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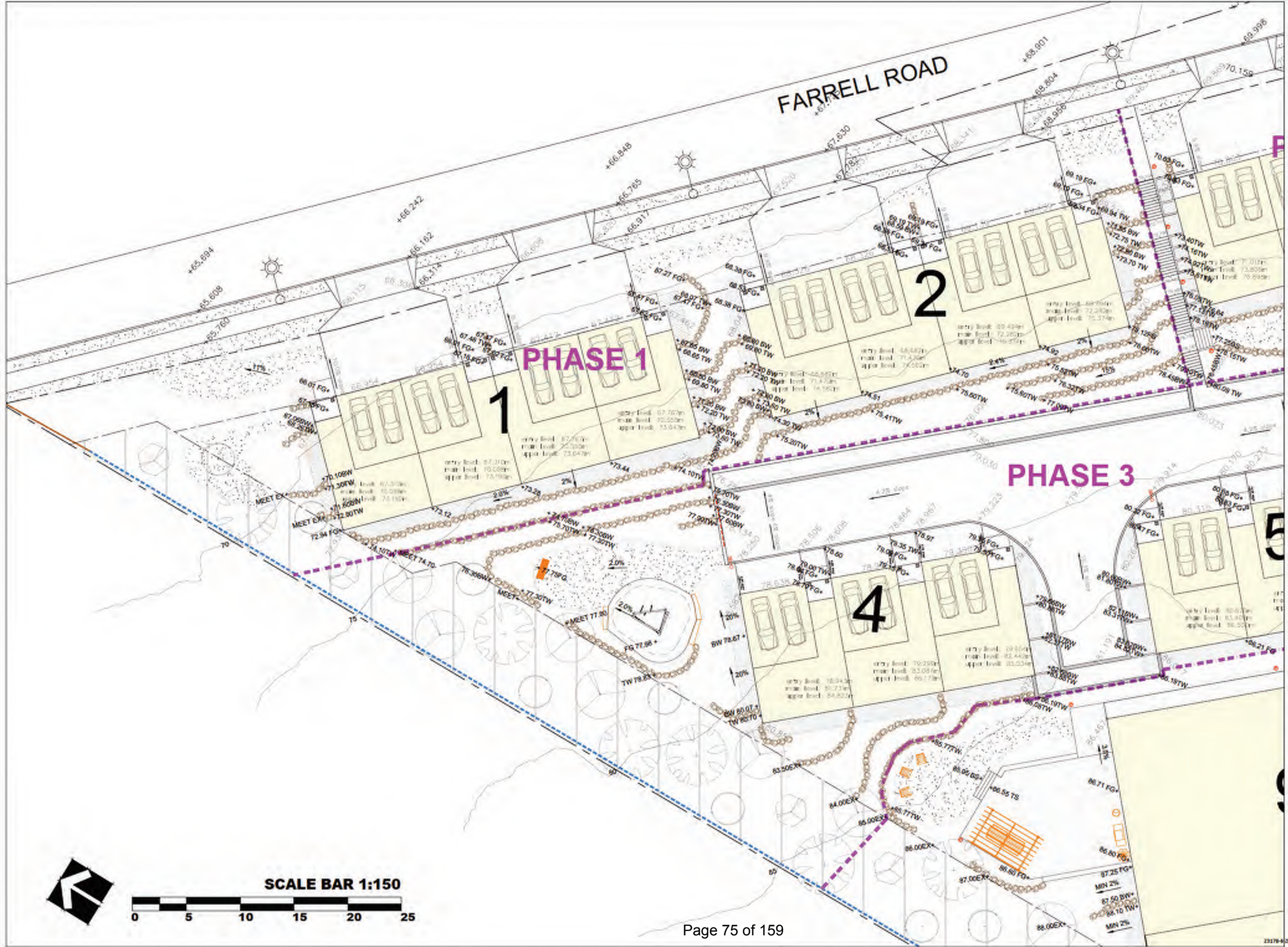
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4	24-08-21	SP SUBMISSION	BJ
5	24-08-21	THIRD PLANNING SHEET ACCESS	BJ
6	24-08-21	SP SUBMISSION	BJ

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PROJECT:
THE ARKELL RESIDENTIAL DEVELOPMENT
670 FARRELL ROAD
LADYSMITH, BC

DRAWING TITLE:
**GRADING PLAN
NORTHWEST**

DATE:	23 OCT 21	DRAWING NUMBER:	L2
SCALE:	1:150		
DRAWN:	BJ		
DESIGN:			
CHKD:	BA		OF 14
PMSG PROJECT NUMBER:			23-178



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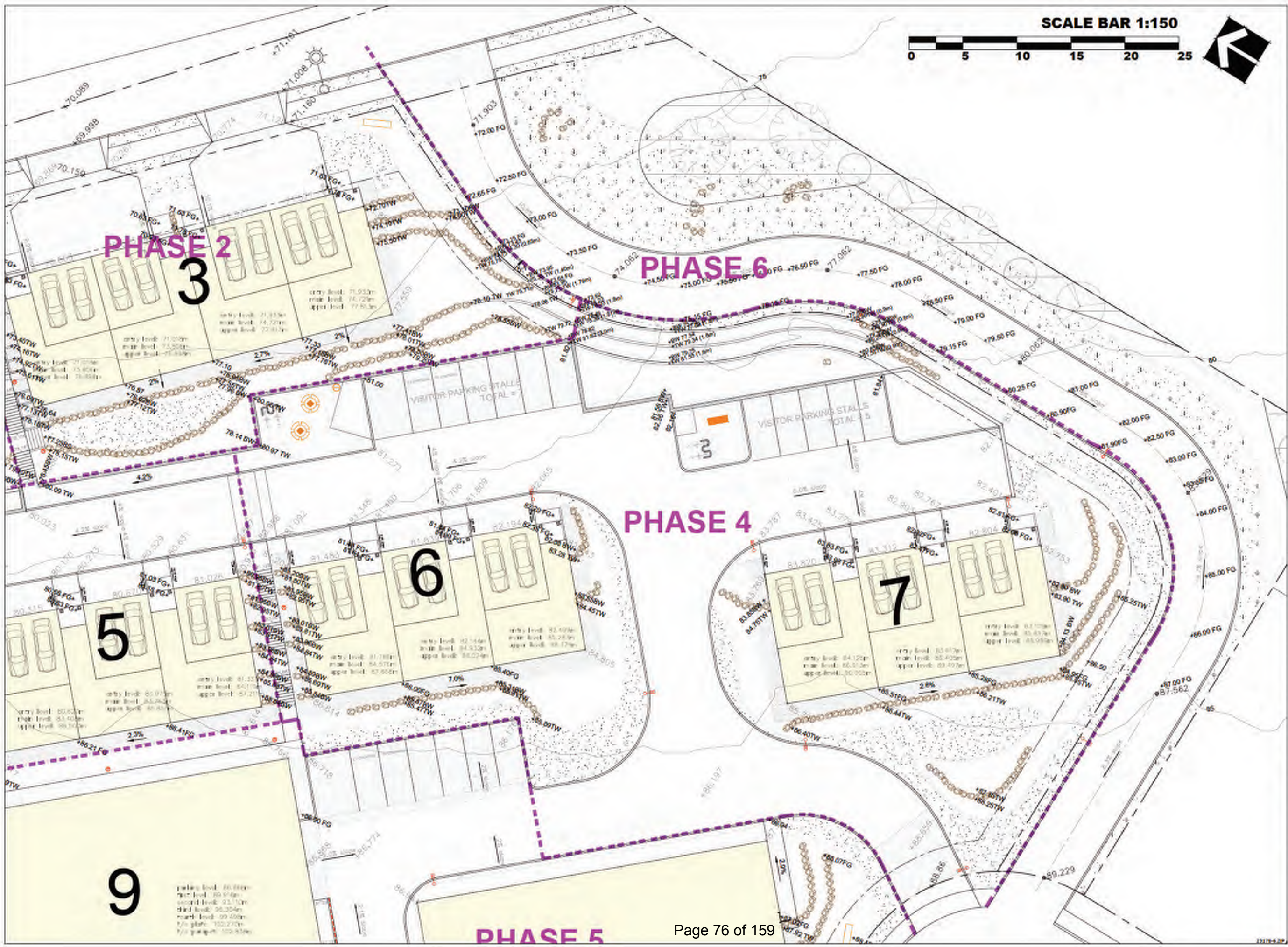
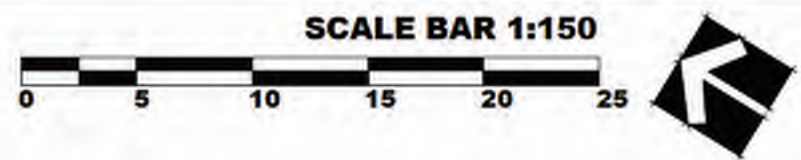
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4	24-09-23	SP SUBMISSION	BJ
5	24-09-23	THREE PLANNING SHEETS ADDED	BJ
6	24-10-24	SP SUBMISSION	BJ

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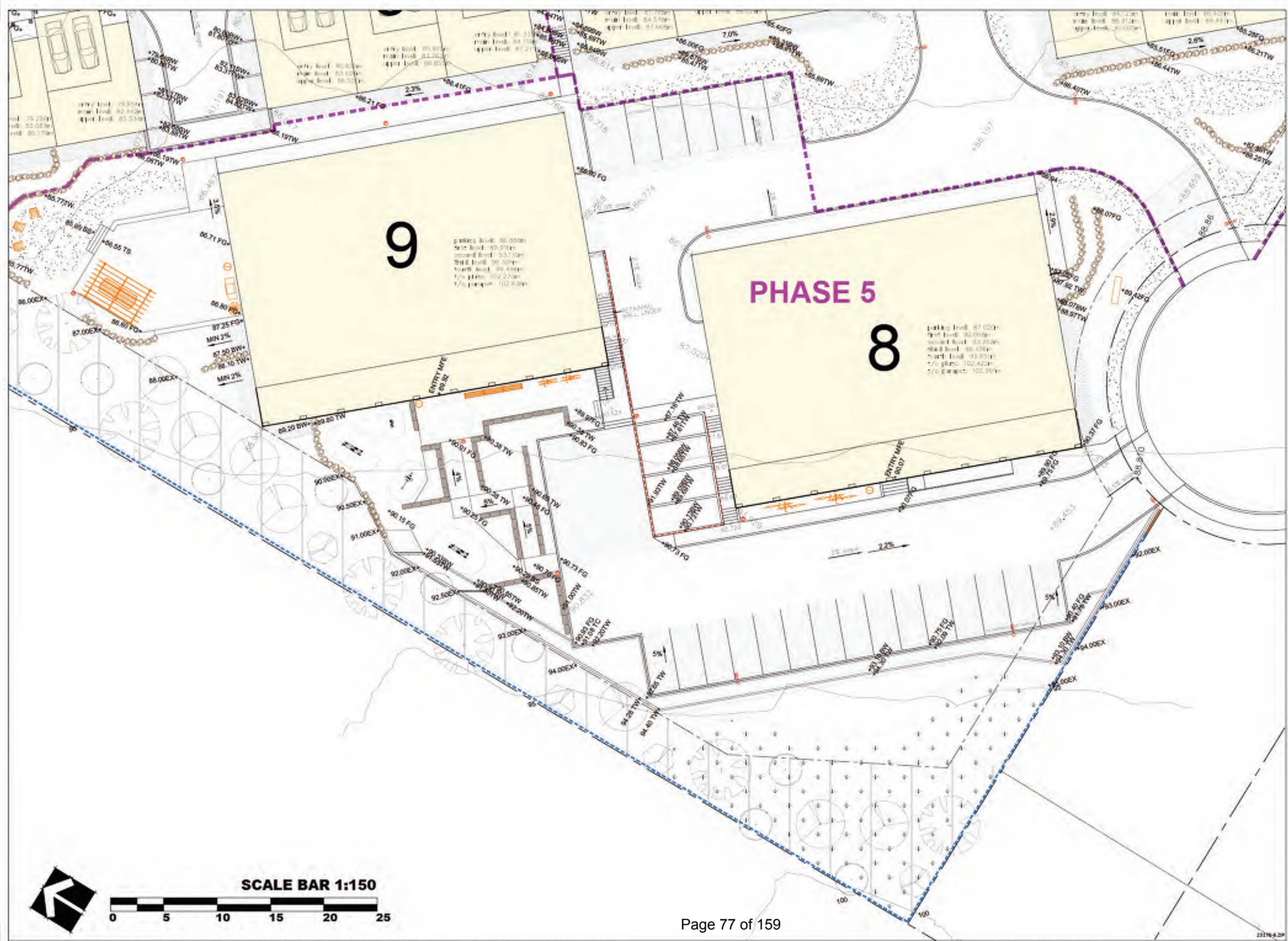
PROJECT:
THE ARKELL RESIDENTIAL DEVELOPMENT
670 FARRELL ROAD
LADYSMITH, BC

DRAWING TITLE:
**GRADING PLAN
NORTHEAST**

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SCALE:	1:150		
DRAWN:	BJ		
DESIGN:			
CHKD:	BA		OF 14
PMS PROJECT NUMBER:			23-178



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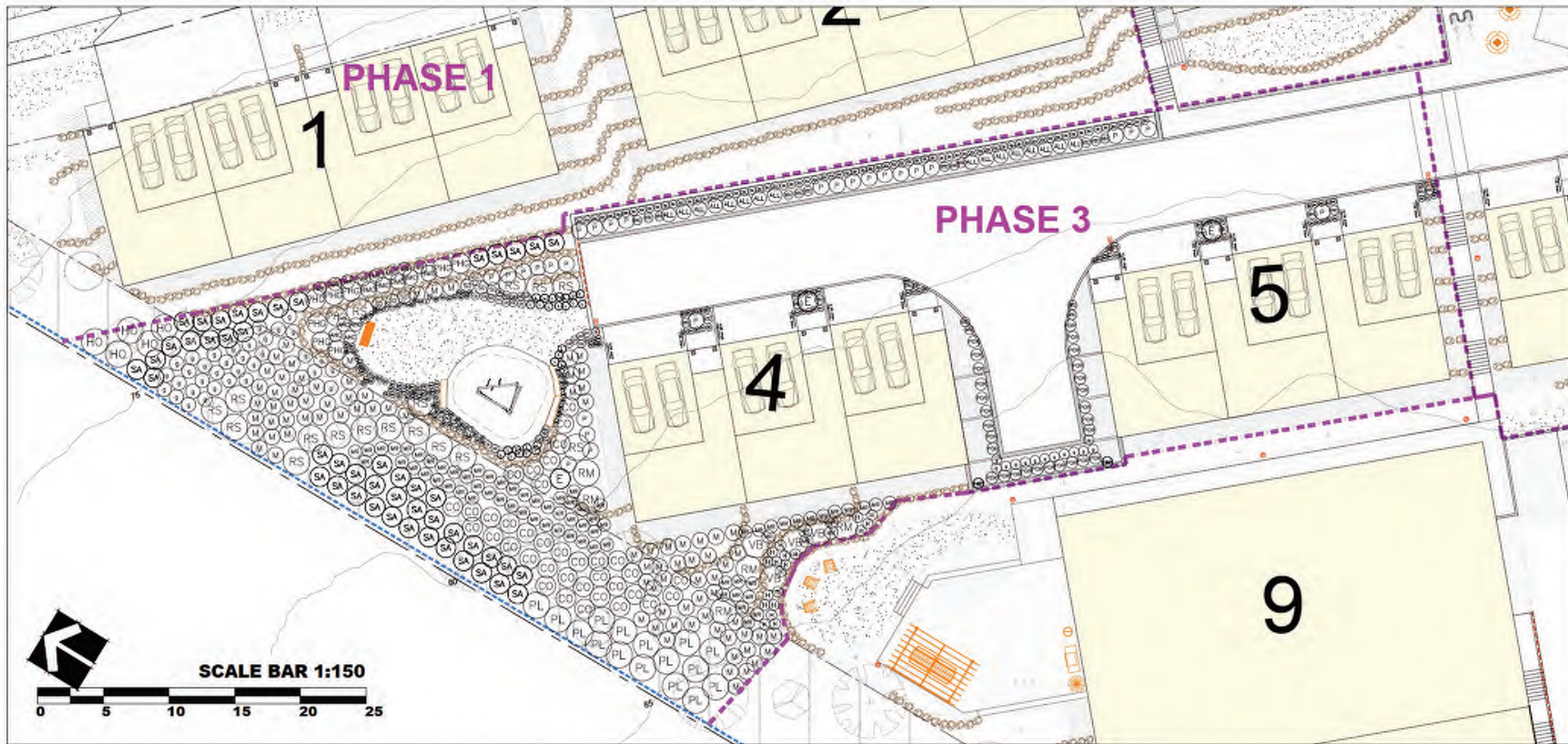
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THE ARKELL RESIDENTIAL DEVELOPMENT
670 FARRELL ROAD
LADYSMITH, BC

DRAWING TITLE:
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SOUTHWEST**

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SCALE:	1:150		
DRAWN:	BJ		
DESIGN:			
CHKD:	SA		OF 14
PMS PROJECT NUMBER:			23-178





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4	24-08-23	SP SUBMISSION	BJ
5	24-08-23	SP SUBMISSION	BJ
7	24-08-23	SP SUBMISSION	BJ
8	24-08-23	THREE PLANTING SHEETS ADDED	BJ
9	24-08-23	SP SUBMISSION	BJ
10	24-08-24	SP SUBMISSION	BJ

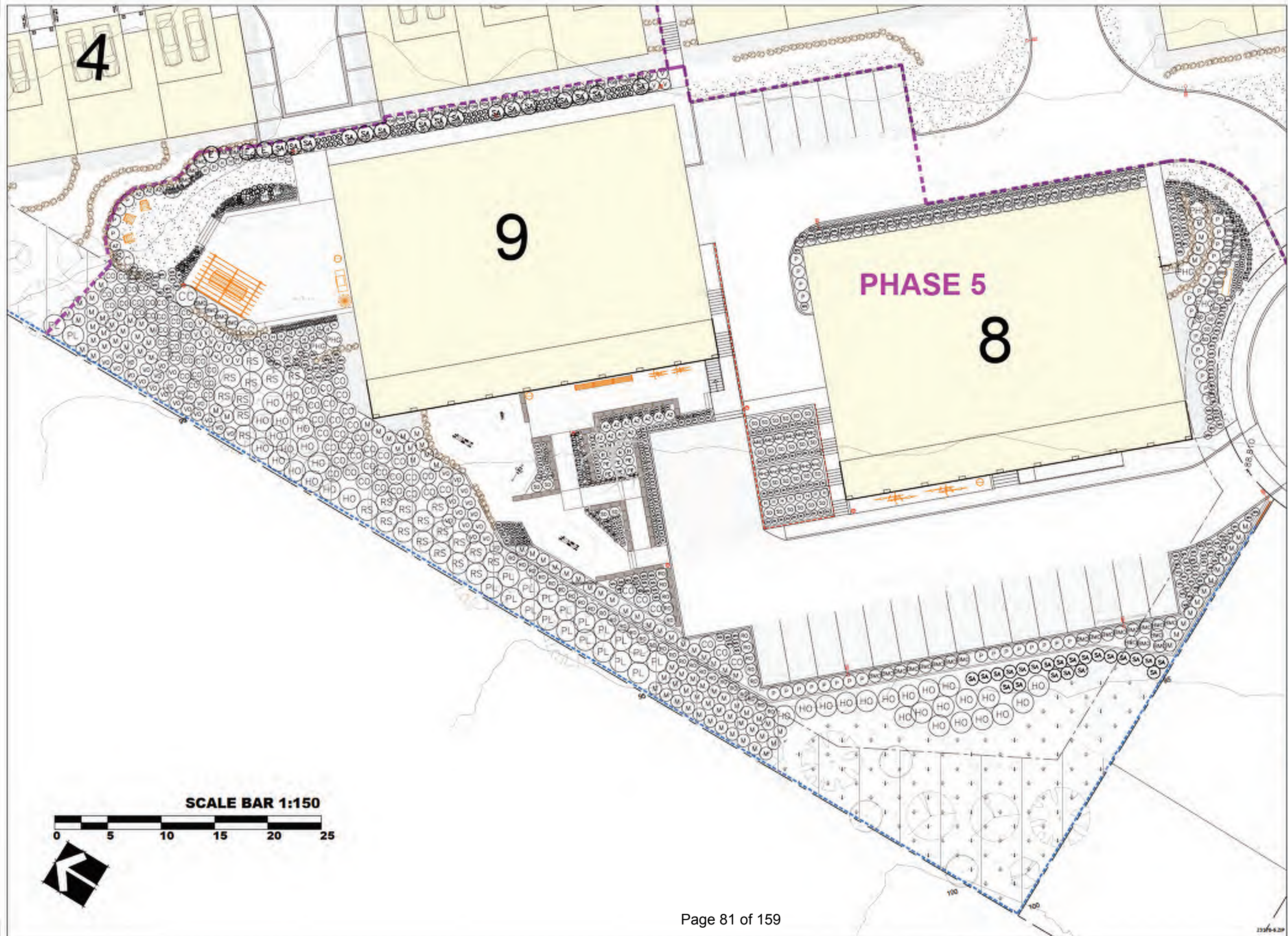
ARCHITECT:
G3 ARCHITECTURE INC.

PROJECT:
**THE ARKELL
RESIDENTIAL DEVELOPMENT**
670 FARRELL ROAD
LADYSMITH, BC

DRAWING TITLE:
SHRUB PLAN: PHASE 3

DATE: 24.02.24 DRAWING NUMBER:
SCALE: 1:150 **L7**
DRAWN: BJ
DESIGN:
CHECKED: SA OF 14

SCALE:



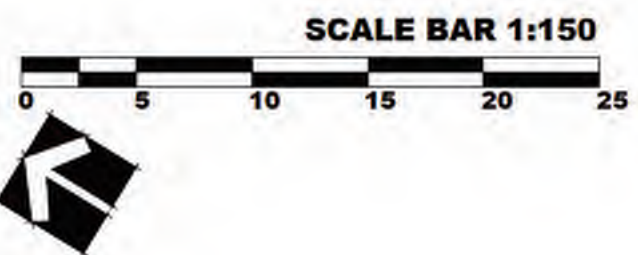
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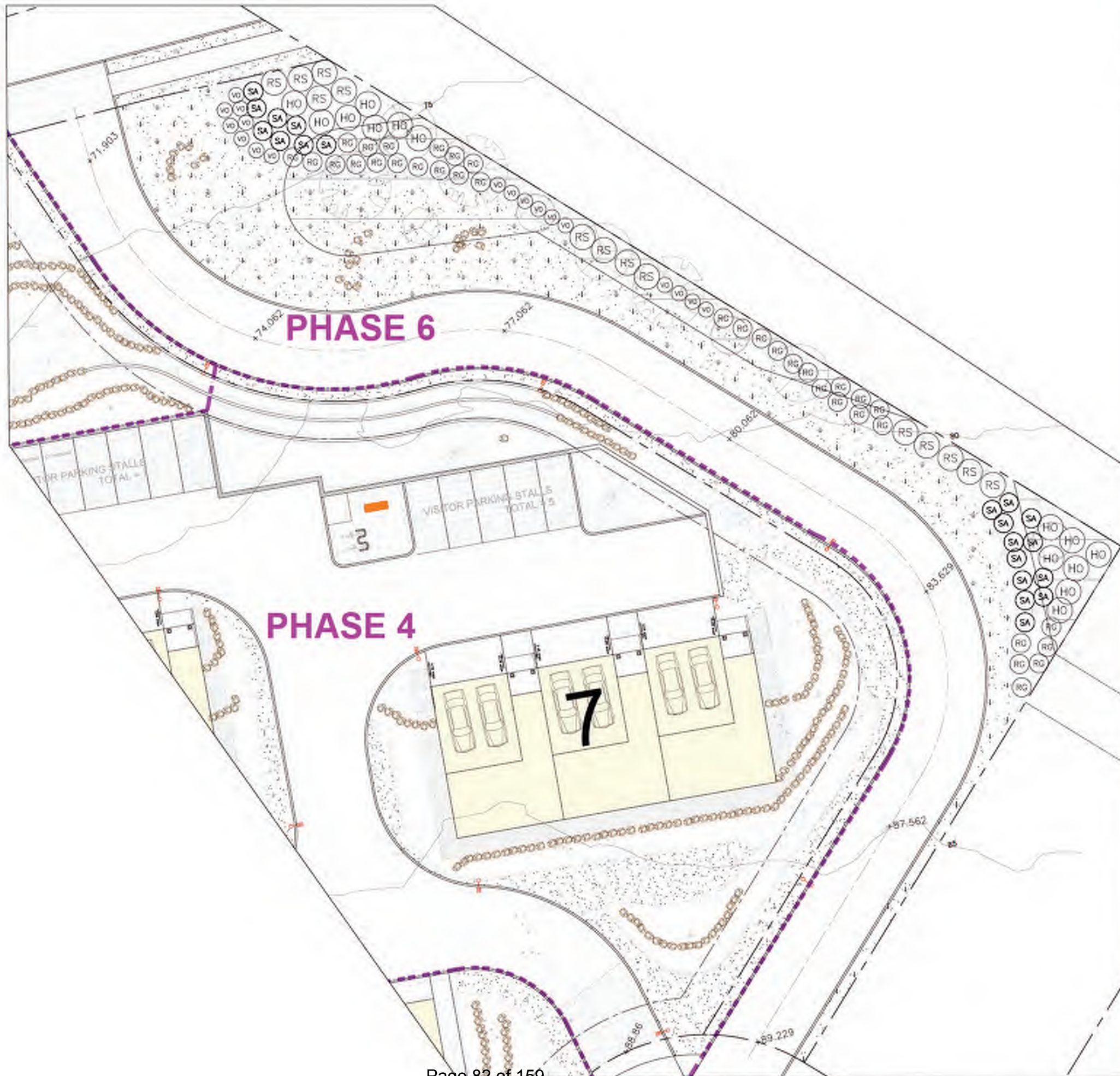
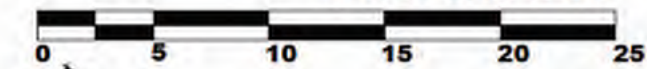
PROJECT:
**THE ARKELL
RESIDENTIAL DEVELOPMENT**
670 FARRELL ROAD
LADYSMITH, BC

DRAWING TITLE:
SHRUB PLAN: PHASE 5

DATE: 24.03.24 DRAWING NUMBER:
SCALE: 1:150 **L8**
DRAWN: BJ OF 14
DESIGN: SA
CHECK: SA OF 14
PMS PROJECT NUMBER: 23-178



SCALE BAR 1:150



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Burnaby, British Columbia, V5C 0G8
p: 604 294-0311 f: 604 294-0322

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
3	24-08-23	SP SUBMISSION	BJ
4	24-08-23	SP SUBMISSION	BJ
5	24-08-23	SP SUBMISSION	BJ
7	24-08-23	SP SUBMISSION	BJ
1	24-05-23	SHRUB PLANTING SHEET ADDED	BJ
2	23-12-24	SP SUBMISSION	BJ

ARCHITECT:
G3 ARCHITECTURE INC.

PROJECT:
**THE ARKELL
RESIDENTIAL DEVELOPMENT**
670 FARRELL ROAD
LADYSMITH, BC

DRAWING TITLE:
SHRUB PLAN: PHASE 6

DATE:	24.12.04	DRAWING NUMBER:	L9 OF 14
SCALE:	1:150		
DRAWN:	BJ		
DESIGN:			
CHKD:	SA		

PMG PROJECT NUMBER: 23-178

MATERIALS LEGEND: PAVING

SWATCH	ITEM	DESCRIPTION
	8" CONCRETE	DRIVEWAY APRONS, FRONT ENTRY PAVING, SIDEWALKS COLOURS - NATURAL
	CONCRETE UNIT PAVERS	PARKING STALLS - PERMEABLE PAVERS - MUTUAL MATERIALS ECOPRIORA PAVR 20X25X10CM COLOURS - CHARCOAL OR GREY (SEE PLAN), PATTERN RUNNING BOND
	CONCRETE UNIT PAVERS	TURBOING DRIVEWAY - PERMEABLE PAVERS - MUTUAL MATERIALS HOLLAND PAVR 8X26X10CM COLOURS - CHARCOAL, PATTERN HERRINGBONE
	TERRACE & WALKWAYS	AMENITY PATIO - BROADWAY 600X300X95mm SLABS, ROMEX/SAND SETTING COLOURS - NATURAL
	PLAY SURFACING	POURED IN PLACE RUBBER SURFACING, THICKNESS TO CSA REQUIREMENTS FOR PLAY PIECES COLOURS TBD

MATERIALS LEGEND: SITE ELEMENTS

SYMBOL	ITEM	DESCRIPTION
	BENCH	MAGLIN 'ICONIC' 6'-0" BENCH, IPE WOOD WITH WHITE PC METAL FINISH
	BENCH - BACKLESS	MAGLIN 'ICONIC' 6'-0" BACKLESS BENCH, IPE WOOD WITH WHITE PC METAL FINISH
	BIKE RACK	MAGLIN 'ICONIC' WHITE PC METAL FINISH
	BIKE RACK	DERO 'HI ROLLER' BIKE RACK FOR 4 BIKES - BLACK PC - INGROUND MOUNT
	PICNIC TABLE AND BENCHES	MAGLIN 'ICONIC' 6'-0" TABLE AND BENCHES, IPE WOOD WITH WHITE PC METAL FINISH
	ADIRONDACK CHAIR	MAGLIN '20" CHAIR - POWDERCOAT COLOURS TBD
	WASTE RECEPTACLE	MAGLIN '25" WASTE RECEPTACLE, BLACK PC FINISH
	CONCRETE GAMES TABLE	SANDERSON CONCRETE - NATURAL COLOUR WITH CHECKERS GAMES INSERT
	PLAY STRUCTURE	KOMPAN 'PARKOUR2' NR0852
	BBQ LOCATION (BY STRATA)	PROVIDE GASELECTRICAL HOOKUP
	WATER HOSE BIB	PROVIDE WATER HOOKUP
	BOULDERS	24-48" DIA NATURAL BOULDERS, ROUNDED EDGES, MAX 1000mm EXPOSED HEIGHT
	OUTDOOR EXERCISE - HP	NORWELL 204
	OUTDOOR EXERCISE - LED	NORWELL 106
	OUTDOOR EXERCISE - ELLIPTICAL	NORWELL 202

MATERIALS LEGEND: FENCING

SYMBOL	ITEM	DESCRIPTION
	ALUMINUM RAIL FENCE & GATE	DETAIL 1A.12
	1.8M ALUMINUM PERIMETER FENCE	DETAIL 2A.12
	GUARD RAIL/RAILINGS	PER ARCH. GUARD RAIL

MATERIALS LEGEND: LIGHTING

SYMBOL	ITEM	DESCRIPTION
	STREET POLE LIGHT	STRUCTURA 'KILA' 10' AND 30' HEIGHT; LED, DARK SKY COMPLIANT
	PEDESTRIAN POLE LIGHT	



STRUCTURA 'KILA' POLE LIGHTS
10' AND 30' HEIGHT
(TO BE CONFIRMED BY PROJECT
LIGHTING CONSULTANT)

PROPOSED TREES



ACER GRISEUM ACER PALMATUM 'TWOMBLEY'S RED SENTINEL' ARRATUS MENZIESII



ACER GLABRUM CHAMAECYPARIS N. 'GREEN ARROW' CORNUS NUTTALLII



QUERCUS DOUGLASSII FAGUS S. 'DAWYCKI' FAGUS S. 'ROHAN OBELISK'



PINUS CONTORTA PRUNUS S. 'AMANOGAWA' PSEUDOTSUGA MENZIESII



QUERCUS GARRYANA SORBUS A. 'CARDINAL ROYAL' GLEDITSIA L. 'SUNCOLE'

PROPOSED SITE ELEMENTS



MAGLIN 'ICONIC' BENCH



MAGLIN 'ICONIC' BIKE RACK



MAGLIN 'ICONIC' PICNIC TABLE
AND BACKLESS BENCHES



MAGLIN '25' WASTE
RECEPTACLE



MAGLIN '20' ADIRONDACK CHAIR



DERO 'HIROLLER' BIKE RACK
FOR 2-4 BIKES



KOMPAN ROBINIA NR0852
'PARKOUR2'



SANDERSON CONCRETE GAMES TABLE



BOULDERS AND DROUGHT
TOLERANT PLANTINGS



POURED IN PLACE RUBBER SURFACING,
VARIOUS COLOURS



ALUMINUM FENCING



NORWELL 202 - ELLIPTICAL/CROSS



NORWELL 204 - HP



NORWELL 106 - LEG

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pmg
LANDSCAPE
ARCHITECTS

Suite C130 - 4185 588 Creek Drive
Dumby, British Columbia, V5C 0G9
P: 804 294-0311 | F: 804 294-0322

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24-08-23	SP SUBMISSION	BJ
2	24-08-23	SP SUBMISSION	BJ
3	24-08-23	SP SUBMISSION	BJ
4	24-08-23	SP SUBMISSION	BJ
5	24-08-23	SP SUBMISSION	BJ
6	24-08-23	SP SUBMISSION	BJ
7	24-08-23	SP SUBMISSION	BJ
8	24-08-23	SP SUBMISSION	BJ
9	24-08-23	SP SUBMISSION	BJ
10	24-08-23	SP SUBMISSION	BJ

ARCHITECT:
G3 ARCHITECTURE INC.

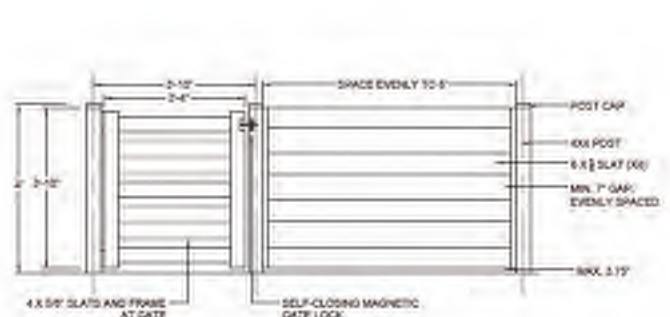
PROJECT:
**THE ARKELL
RESIDENTIAL DEVELOPMENT**
670 FARRELL ROAD
LADYSMITH, BC

DRAWING TITLE:
LANDSCAPE DETAILS

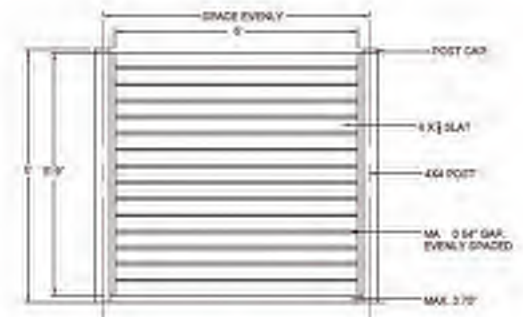
DATE: 23-OCT-23 DRAWING NUMBER:
SCALE: AS NOTED
DRAWN: BJ
DESIGN: BJ
CHKD: BA OF 14

L11

SCALE:



NOTE:
1. FENCING CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR PER MANUFACTURER'S SPECIFICATIONS.
2. ALL MATERIAL TO BE COMMERCIAL GRADE ALUMINUM WITH HEAVY DUTY POWDER COATING (COLOUR TBC).
3. FENCE POSTS TO BE IN-GROUND INSTALLATION.
4. FENCING SPECIFICATIONS TO BE PROVIDED INDICATING LOW FIRE COMBUSTION RATING.
5. STEP FENCE IN EVEN INCREMENTS ACCORDING TO THE GRADE WITH A MAXIMUM GAP OF 3.75\"/>



NOTE:
1. FENCING CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR PER MANUFACTURER'S SPECIFICATIONS.
2. ALL MATERIAL TO BE COMMERCIAL GRADE ALUMINUM WITH HEAVY DUTY POWDER COATING (COLOUR TBC).
3. FENCE POSTS TO BE IN-GROUND INSTALLATION.
4. FENCING SPECIFICATIONS TO BE PROVIDED INDICATING LOW FIRE COMBUSTION RATING.
5. STEP FENCE IN EVEN INCREMENTS ACCORDING TO THE GRADE WITH A MAXIMUM GAP OF 3.75\"/>

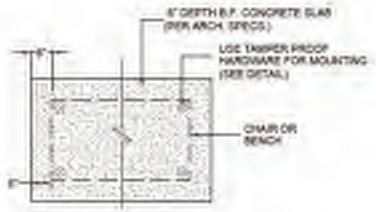


NOTE:
1. ALL LUMBER TO BE PRESSURE TREATED.
2. ALL TRIMMING NOT SHOWN CALLED OUT.

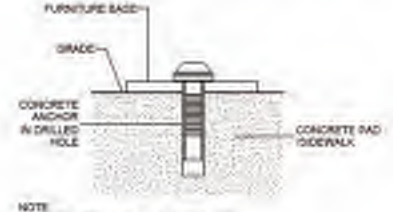
1 ALUMINUM RAIL FENCE AND GATE
SCALE: 1/2\"/>

2 6'-0\"/>

3 GRAVEL EDGE RESTRAINT
SCALE: NTS

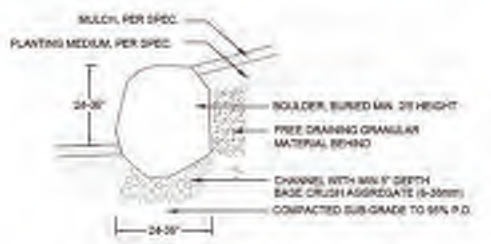


4 FURNISHINGS ON CONCRETE PAD
SCALE: 1/2\"/>

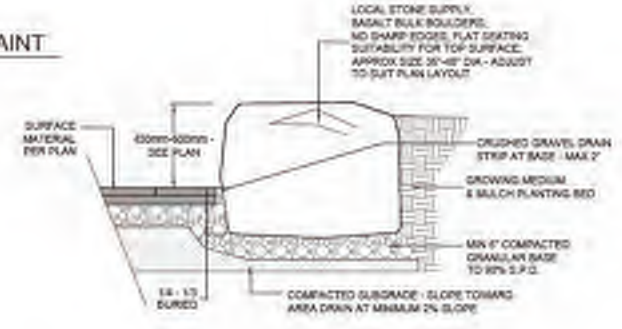


NOTE:
SIZE FURNISHINGS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.

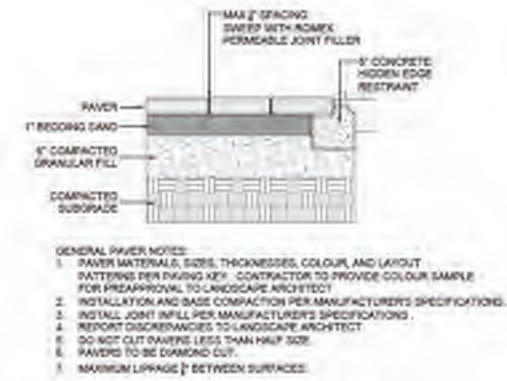
5 TYPICAL FURNITURE MOUNTING
SCALE: NTS



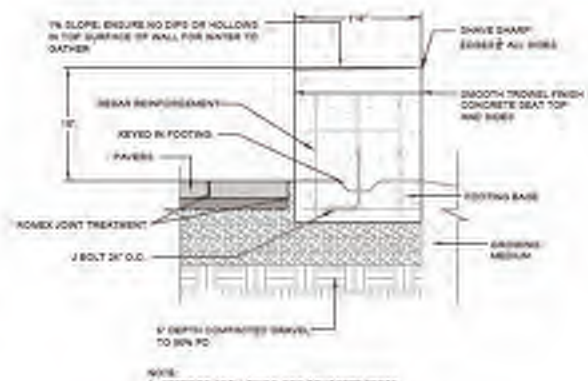
6 BOULDER RETAINING WALL - MAX 36\"/>



7 BOULDER SEATING WALL AT PLANTING
SCALE: 1/2\"/>

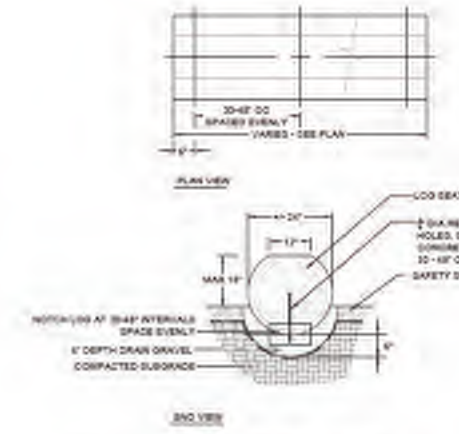


8 STANDARD PAVERS ON GRADE
SCALE: NTS



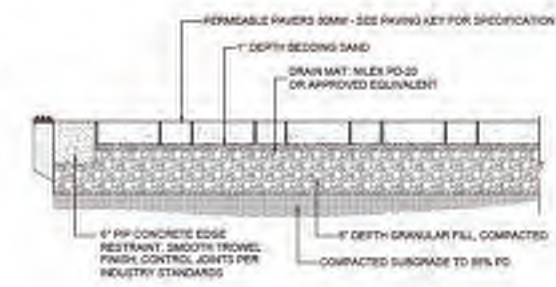
NOTE:
1. REFER TO ARCH. DWGS. FOR CONCRETE SPEC.

9 CIP CONCRETE SEATING WALL
SCALE: NTS



NOTE:
1. WOOD TO BE PINKED, SMOOTH SANDING, ROUNDED FREE OF SPUNTERS, CRACKS.
2. WOOD TO BE YELLOW PINE OR CLEAR LUMBER.

10 LOG INSTALLATION
SCALE: NTS



11 PERMEABLE PAVERS ON GRADE
SCALE: NTS

NO.	DATE	REVISION DESCRIPTION	DR
8	20-04-23	DP SUBMISSION	BJ
4	24-08-22	DP SUBMISSION	BJ
3	24-08-22	DP SUBMISSION	BJ
2	24-08-22	DP SUBMISSION	BJ
1	24-08-22	FINAL PLANTING SHEET ADDED	BJ
-	20-12-24	DP SUBMISSION	BJ

ARCHITECT:
G3 ARCHITECTURE INC.

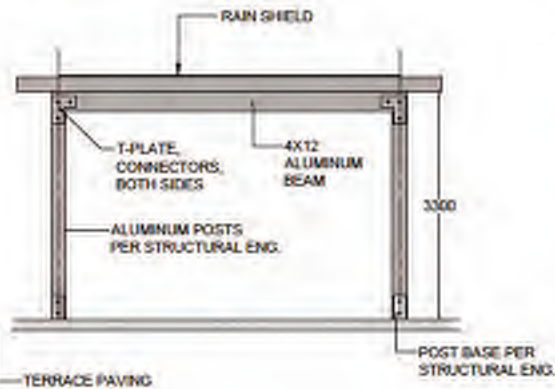
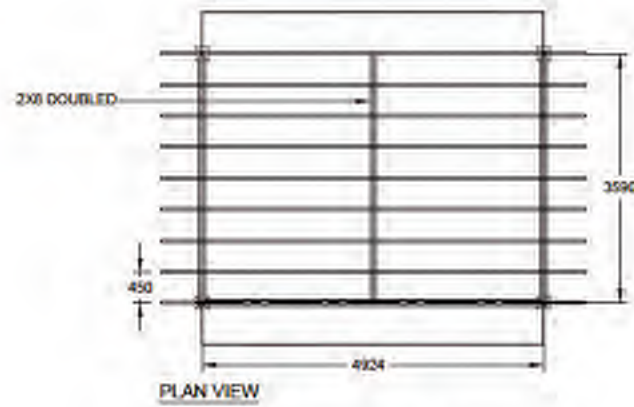
PROJECT:
THE ARKELL RESIDENTIAL DEVELOPMENT
670 FARRELL ROAD
LADYSMITH, BC

DRAWING TITLE:
LANDSCAPE DETAILS

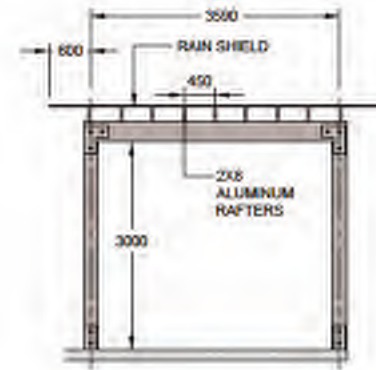
DATE: 23-OCT-23 DRAWING NUMBER:
SCALE: AS NOTED
DRAWN: BJ
DESIGN:
CHKD: BA OF 14

L12

SCALE:



ELEVATION



SIDE ELEVATION

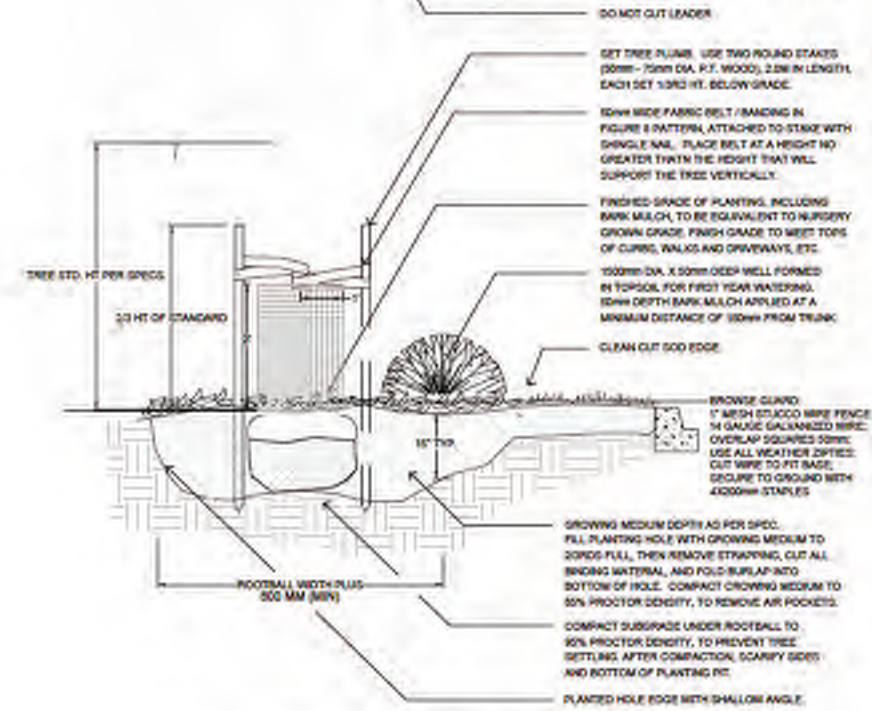
NOTES:

1. CONCEPT DRAWING: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT AND PROJECT STRUCTURAL ENGINEER.
2. ALL ALUMINUM TO BE COMMERCIAL GRADE AND HEAVY-DUTY POWDERCOATED, COLOUR TBD
3. FOOTINGS AND ATTACHMENTS TO BE COORDINATED WITH AND REVIEWED BY STRUCTURAL ENGINEER.
4. RAIN SHIELD TO BE SHATTERPROOF.

1 ARBOUR CONCEPT
SCALE: 1/8"

NOTES:

- PROTECT TREE FROM DAMAGE DURING PLANTING. TREE ROOTS NOT TO BE EXPOSED TO SUN, FROST, WIND. DO NOT LET ROOTS DRY OUT.
- CONFIRM TREE DRAINAGE SUBSOIL. PROVIDE POSITIVE SURFACE DRAINAGE AT MINIMUM 2%.
- CONFIRM EXISTING GROWING MEDIUM MEETS SPECIFICATIONS AND IS SUITABLE FOR RE-USE. FERTILIZE AS PER GROWING MEDIUM TEST RESULTS.
- CONFIRM UNDERGROUND SERVICES LOCATIONS PRIOR TO EXCAVATION. ALL PLANTING PITS SHALL BE DUG BY HAND WHERE UNDERGROUND SERVICES MAY EXIST.



2 TREE AND SHRUB PLANTING
SCALE: 1/8"

NO.	DATE	REVISION DESCRIPTION	DR.
1	24-09-23	IF SUBMISSION	SI
2	24-09-23	IF SUBMISSION	SI
3	24-09-26	IF SUBMISSION	SI
4	24-09-26	IF SUBMISSION	SI
5	24-09-27	TREE PLANTING SHEET ADDS	SI
6	24-10-04	IF SUBMISSION	SI

NO.	DATE	REVISION DESCRIPTION	DR.

ARCHITECT:
G3 ARCHITECTURE INC.

PROJECT:
THE ARKELL RESIDENTIAL DEVELOPMENT
670 FARRELL ROAD
LADYSMITH, BC

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 23 OCT 23 DRAWING NUMBER:
SCALE: AS NOTED
DRAWN: SI
DESIGN:
CHECKED: SA OF 14

L13



AMENITY AREA: BUILDING 9
SCALE 1:150



AMENITY AREAS: CENTRAL
SCALE 1:150

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LANDSCAPE
ARCHITECTS

Suite C120 - 4185 588 Creek Drive
Burnaby, British Columbia, V5C 0G8
P: 604 294-0311 | F: 604 294-0322

SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
3	24-08-23	DP SUBMISSION	BJ
4	24-08-24	DP SUBMISSION	BJ
5	24-08-26	DP SUBMISSION	BJ
7	24-08-26	DP SUBMISSION	BJ
8	24-08-27	FINAL PLANTING SHEET ACCESS	BJ
-	24-10-24	DP SUBMISSION	BJ

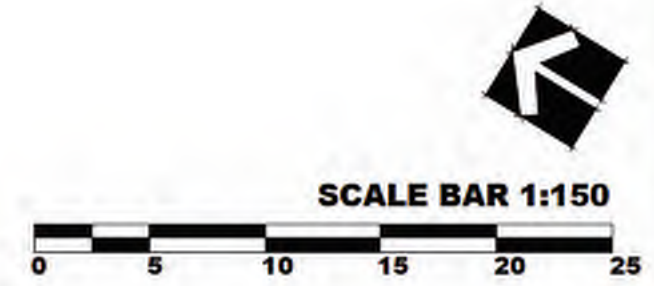
ARCHITECT:
G3 ARCHITECTURE INC.

PROJECT:
**THE ARKELL
RESIDENTIAL DEVELOPMENT**
670 FARRELL ROAD
LADYSMITH, BC

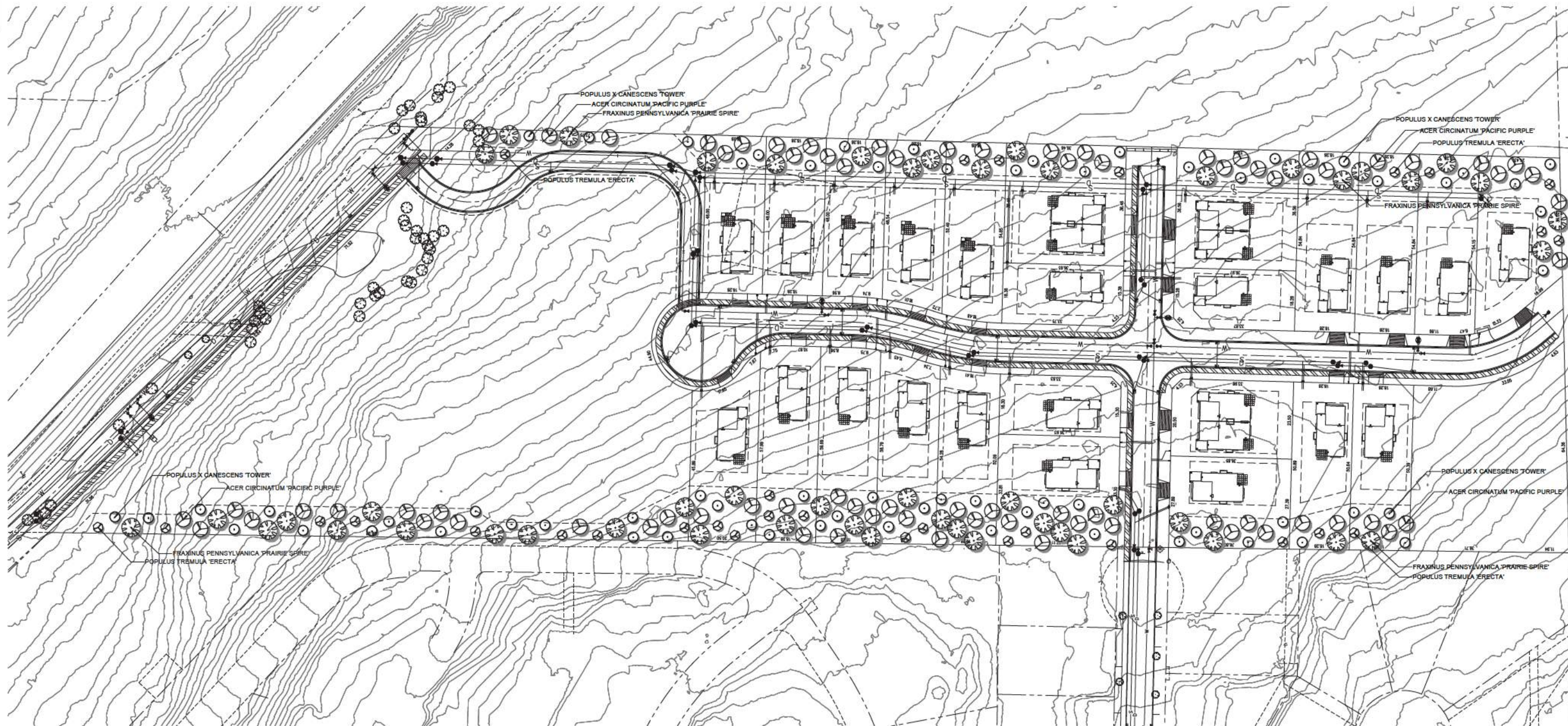
DRAWING TITLE:
**AMENITY AREA
ENLARGEMENTS**

DATE: 23-OCT-23 DRAWING NUMBER:
SCALE: 1:150 **L14**
DRAWN: BJ
DESIGN: BJ
CHECKED: BA OF 14

PMG PROJECT NUMBER: 23-178



SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	22.JAN.14	REV. TREE SIZES	CJ

CLIENT:

PROJECT:

TREE PLANTING PLAN

670 FARRELL ROAD
LADYSMITH

DRAWING TITLE:

**LANDSCAPE
TREE PLAN**

DATE: 21.DEC.08 DRAWING NUMBER:

SCALE: 1"=50'-0"

DRAWN: RJ

DESIGN: RJ

CHKD: MCY

L1

OF 1

PMG PROJECT NUMBER:

21-151

Schedule E - Landscape Tree Plan

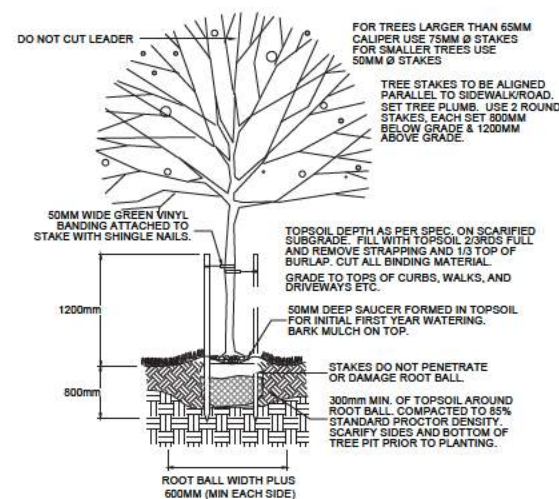
DP 3060 22-14

670 Farrell Road

1 page

PLANT SCHEDULE				PMG PROJECT NUMBER: 21-151
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	70	ACER CIRCINATUM 'PACIFIC PURPLE'	BRONZE VINE MAPLE	2.5M HT; B&B; 3 STEM CLUMP
	50	FRAXINUS PENNSYLVANICA 'PRAIRIE SPIRE'	PRAIRIE SPIRE ASH	6CM CAL; 1.8M STD; B&B
	30	POPULUS TREMULA 'ERECTA'	SWEDISH COLUMNAR ASPEN	8CM CAL; B&B
	60	POPULUS X CANESCENS 'TOWER'	TWOER POPLAR	8CM CAL; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



TYPICAL DECIDUOUS TREE DETAIL

Schedule F - Stormwater Management Plan

DP 3060 22-14
670 Farrell Road
9 pages



STAGE 1 CONSTRUCTION



STAGE 2 CONSTRUCTION

NOTES
FOR STORM WATER MANAGEMENT
CALCULATIONS SEE DWG. 3

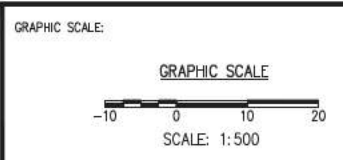
LEGEND
PROP. IMPERVIOUS AREA [Grey Box]
PROP. DED. PERVIOUS AREA [Light Green Box]

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BENCHMARK:
ELEVATIONS WERE DERIVED FROM NORTH
COMCHAN, CONTROL MONUMENT 8062
ELEVATION = 67.772m

SEAL:

CoreGroup
CONSULTANTS
LAND DEVELOPMENT SERVICES
320-8988 FRASERTON COURT
BURNABY, BC V5J 5H8
tel. (604)299 0605 fax. (604)299 0629
Permit To Practice No. 1001017 (BC)



CHECK BEFORE YOU DIG
INFORMATION ON EXISTING UTILITIES MAY NOT BE COMPLETE OR
ACCURATE. PRIOR TO CONSTRUCTION CONTRACTOR SHALL
EXPLORE LOCATIONS OF ALL EXISTING UTILITIES AND ADVISE THE
ENGINEER OF POTENTIAL CONFLICTS. THIS DRAWING TO BE
READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR
UTILITIES, SERVICE LOCATIONS, AND DETAILS. THE EXACT
LOCATION OF THESE UTILITIES SHALL BE DETERMINED ON SITE.

REV'D	DATE(Y/M/D)	DR'N	CH'D
3	2024/03/27	BC	CN
2	2024/03/13	BC	CN
1	2024/01/31	BC	CN
0	2023/12/07	BC	CN

TOWN OF LADYSMITH Engineering Department

DESIGNED - BC
DRAWN - BC
METRIC SCALE - 1:500
APPROVED - CN
DATE - MAR. 27, 2024

**THE ARKELL
RESIDENTIAL DEVELOPMENT
STORM WATER
MANAGEMENT PLAN**

670 FARRELL RD., TOWN OF LADYSMITH, BC

PLA FILE #
CONSULTANTS
DWG No- 2276
CITY
DOC. No-
SHEET 2 of 7

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A. SITE - Stage 1 Construction Area

I. Pre-development Flows:

R	0.35
A	0.30 ha
N	0.00278
tc	25.00 min
I-5yr	25.00 mm/hr

Q 5yr-pre dev = 0.007 cu.m./s (Q 5 Release Rate)

II. Detention Volume Calculation: (For Q 5)

Q rel =	0.007 cu.m/s
R =	0.75
SAF =	1.0
A =	0.30 ha
Tc =	10.00 min
I 5yr =	39.00 mm/hr
Qp1 =	0.0246 cu.m./s

Hyd No.	Rainfall Duration Tr (min)	Rainfall Intensity I 5yr (mm/hr)	Peak Flow Qp2 (cu.m./s)	Inflow Runoff Volume (cu.m.)	Max Release Qrel (cu.m./s)	Required Storage Volume (cu.m.)
1	10	39.00	0.025	14.746	0.007	10.34
2	15	31.00	0.020	17.562	0.007	11.14
3	20	28.00	0.019	21.174	0.007	12.61
4	30	22.00	0.014	24.956	0.007	12.23
5	40	19.00	0.012	28.737	0.007	11.79
6	50	17.00	0.011	32.140	0.007	10.94
7	60	16.00	0.010	36.299	0.007	10.78
8	120	11.00	0.007	49.911	0.007	(1.35)

Therefore, 13m³ of detention volume is required for Stage 1 For 5Yr Pre = Post

DETENTION REQUIREMENTS
 INDIVIDUAL TOWNHOUSE DETENTION = 4.5m³ x 3 = 13.5m³

A. SITE - Stage 2 Construction Area

I. Pre-development Flows:

R	0.35
A	1.16 ha
N	0.00278
tc	25.00 min
I-5yr	25.00 mm/hr

Q 5yr-pre dev = 0.028 cu.m./s (Q 5 Release Rate)

II. Detention Volume Calculation: (For Q 5)

Q rel =	0.028 cu.m/s
R =	0.75
SAF =	1.0
A =	1.16 ha
Tc =	10.00 min
I 5yr =	39.00 mm/hr
Qp1 =	0.0941 cu.m./s

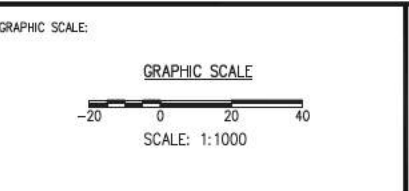
Hyd No.	Rainfall Duration Tr (min)	Rainfall Intensity I 5yr (mm/hr)	Peak Flow Qp2 (cu.m./s)	Inflow Runoff Volume (cu.m.)	Max Release Qrel (cu.m./s)	Required Storage Volume (cu.m.)
1	10	39.00	0.094	66.437	0.028	39.55
2	15	31.00	0.075	67.290	0.028	42.62
3	20	28.00	0.068	81.038	0.028	48.28
4	30	22.00	0.053	95.509	0.028	46.81
5	40	19.00	0.048	109.980	0.028	45.11
6	50	17.00	0.041	123.004	0.028	41.86
7	60	16.00	0.039	136.922	0.028	41.25
8	120	11.00	0.027	191.017	0.028	(5.15)

Therefore, 49m³ of detention volume is required for Stage 2 For 5Yr Pre = Post

DETENTION REQUIREMENTS
 INDIVIDUAL TOWNHOUSE DETENTION = 4.5m³ x 4 = 18m³
 INDIVIDUAL APARTMENT DETENTION = 16m³ x 2 = 32m³
 TOTAL DETENTION ACHIEVED = 18³ + 32³ = 50m³

BENCHMARK:
 ELEVATIONS WERE DERIVED FROM NORTH COMCHAM, CONTROL MONUMENT 8062
 ELEVATION = 67.772m

SEAL:



CHECK BEFORE YOU DIG
 INFORMATION ON EXISTING UTILITIES MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING UTILITIES AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR UTILITIES, SERVICE LOCATIONS, AND DETAILS. THE EXACT LOCATION OF THESE UTILITIES SHALL BE DETERMINED ON SITE.

REV'D	DATE(Y/M/D)	DRN	CH'D	
3	2024/03/27	BC	CN	REVISED PER DP COMMENTS
2	2024/03/13	BC	CN	REVISED PER DP COMMENTS
1	2024/01/31	BC	CN	REVISED PER DP COMMENTS
0	2023/12/07	BC	CN	ISSUED FOR DP

TOWN OF LADYSMITH Engineering Department		FLA FILE #
DESIGNED - BC	DRAWN - BC	CONSULTANTS DWG No- 2276
METRIC SCALE - N.T.S.	APPROVED- CN	CITY DOC. No- -
DATE- MAR. 27, 2024	THE ARKELL RESIDENTIAL DEVELOPMENT STORM WATER INFILTRATION CALCULATIONS 670 FARRELL RD., TOWN OF LADYSMITH, BC	
		SHEET 3 of 7

April 22, 2024

PROJECT: 2276

Town of Ladysmith
132C Roberts Street
Ladysmith, BC
V9G 1A2

TO: Mr Andrew Wilson
Planner

RE: The Arkell Multi Family Development 670 Farrell Road, Ladysmith
Development Permit – Stormwater Management

The following information is in support of the development Permit Application for 670 Farrell road and is in response to questions raised in Mr Andrew Wilson's email dated April 18, 2024.

1. Attached are copies of the previously submitted Stormwater Management plans that provide preliminary volume calculations for each stage of the development. These calculations will be refined as the design advances to detailed design stage.

Roof drainage will discharge directly to underground detention tanks located within the building footprint or adjacent to the buildings. Road drainage will/may be detained in oversized storm sewer pipes located in the roadways. If infiltration is possible, infiltration galleries will be located in landscaped areas adjacent to buildings or roadways.

2. Attached are a couple of sample designs that will be applied to this project. As the design advances to Building Permit stage, construction details will be provided. Preliminary calculations below show how the detention requirements can be apportioned to each building. The total site volume detention = 62 m³

Stage 1: Each townhouse unit fronting Farrell Road will require 1.1 m³ of detention. ($13\text{m}^3 / 12 = 1.1\text{m}^3$)

Stage 2: Each townhouse will require approximately 2 m³ ($24\text{m}^3 / 12$) and each Apartment will require 12.5 m³ ($25\text{m}^3 / 2 = 12.5\text{m}^3$).

3. Where possible, landscape areas will have storm water source control and infiltration, however, due to the presence of rock on the site, infiltration opportunities will be limited or not practical.

4. The site will be serviced by an existing storm sewer connection located at the northwest corner of the site off Farrell Road. We do not anticipate any issues relating to the extension of this service.

We trust that the above is to your satisfaction, however, should you require additional information please contact the undersigned.

Yours truly,

CORE GROUP CIVIL CONSULTANTS LTD.
Permit to Practice # 101017(BC)

Cormac Nolan

Cormac Nolan, P.Eng



A. SITE - Stage 1 Construction Area
I. Pre-development Flows:

R = 0.35
A = 0.30 ha
N = 0.002/s
I₀ = 20.00 mm
I_{5yr} = 20.00 mm/yr

Q_{5yr-pre dev} = 0.007 cu m/s (Q₅ Release Rate)

II. Detention Volume Calculation: (For Q₅)

Q_{rel} = 0.007 cu m/s
K = 0.75
SAP = 1.0
A = 0.30 ha
T_c = 10.00 min
I_{5yr} = 20.00 mm/yr
Q_{p1} = 0.007 cu m/s

Hyd No.	Rainfall Duration T _r (min)	Rainfall Intensity I _{5yr} (mm/hr)	Peak Flow Q _{p1} (cu.m/s)	Flow Volume (cu.m)	Max Release Q _{rel} (cu.m/s)	Required Storage Volume (cu.m)
1	15	33.00	0.075	14.850	0.007	10.34
2	15	33.00	0.075	14.850	0.007	11.14
3	30	28.00	0.064	11.520	0.007	13.61
4	30	27.00	0.061	14.580	0.007	12.73
5	45	19.00	0.047	28.575	0.007	11.10
6	30	17.00	0.043	12.740	0.007	10.84
7	30	16.00	0.040	10.200	0.007	10.19
8	120	11.00	0.037	10.014	0.007	11.32

Therefore, 13m³ of detention volume is required for Stage 1
For 5Yr Pre = Post

RETENTION REQUIREMENTS:

INDIVIDUAL TOWNHOUSE DETENTION = 4.5m³ x 3 = 13.5m³

A. SITE - Stage 2 Construction Area
I. Pre-development Flows:

R = 0.35
A = 1.10 ha
N = 0.002/s
I₀ = 20.00 mm
I_{5yr} = 20.00 mm/yr

Q_{5yr-pre dev} = 0.029 cu m/s (Q₅ Release Rate)

II. Detention Volume Calculation: (For Q₅)

Q_{rel} = 0.029 cu m/s
K = 0.75
SAP = 1.0
A = 1.10 ha
T_c = 10.00 min
I_{5yr} = 20.00 mm/yr
Q_{p1} = 0.047 cu m/s

Hyd No.	Rainfall Duration T _r (min)	Rainfall Intensity I _{5yr} (mm/hr)	Peak Flow Q _{p1} (cu.m/s)	Flow Volume (cu.m)	Max Release Q _{rel} (cu.m/s)	Required Storage Volume (cu.m)
1	15	33.00	0.075	14.850	0.029	10.34
2	15	33.00	0.075	14.850	0.029	11.14
3	30	28.00	0.064	11.520	0.029	13.61
4	30	27.00	0.061	14.580	0.029	12.73
5	45	19.00	0.047	28.575	0.029	11.10
6	30	17.00	0.043	12.740	0.029	10.84
7	30	16.00	0.040	10.200	0.029	10.19
8	120	11.00	0.037	10.014	0.029	11.32

Therefore, 49m³ of detention volume is required for Stage 2
For 5Yr Pre = Post

RETENTION REQUIREMENTS:

INDIVIDUAL TOWNHOUSE DETENTION = 4.5m³ x 4 = 18m³
INDIVIDUAL APARTMENT DETENTION = 0.5m³ x 2 = 30m³
TOTAL DETENTION ACHIEVED = 18m³ + 30m³ = 50m³

REMARK:
ELEVATIONS WERE DERIVED FROM NORTH
CORNER, CONTROL MONUMENT 8062
ELEVATION = 67.772m

SEAL:



GRAPHIC SCALE:



CHECK BEFORE YOU DIG

INFORMATION ON EXISTING UTILITIES MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION CONTRACTOR SHALL CORROBORATE LOCATIONS OF ALL EXISTING UTILITIES AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR UTILITIES, SERVICE LOCATIONS, AND DETAILS. THE EXACT LOCATION OF THESE UTILITIES SHALL BE DETERMINED ON SITE.

REV	DATE	BY	CHKD	DESCRIPTION
3	2024/03/27	BC	CH	REVISED PER DP COMMENTS
2	2024/03/13	BC	CH	REVISED PER DP COMMENTS
1	2024/01/23	BC	CH	REVISED PER DP COMMENTS
0	2023/12/07	BC	CH	ISSUED FOR DP

TOWN OF LADYSMITH Engineering Department

DESIGNED - BC
DRAWN - BC
METRIC SCALE - M.S.
APPROVED - CH
DATE - MAR 27, 2024

THE ARKELL RESIDENTIAL DEVELOPMENT STORM WATER INFILTRATION CALCULATIONS

NO. 004 #
SCALE: 1:1000
SHEET 3 OF 7



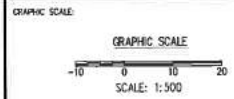
NOTES
FOR STORM WATER MANAGEMENT
CALCULATIONS SEE DWG. 3

LEGEND
PROP. IMPAVED AREA
PROP. DEV. PERVIOUS AREA

BENCHMARK:
ELEVATIONS WERE DERIVED FROM NORTH
COMMONAL CONTROL MONUMENT 6062
ELEVATION = 61.772m

SCALE:

CoreGroup
CONSULTANTS
LAND DEVELOPMENT SERVICES
310-8888 FRASER COURT
BURNABY, BC V3G 3H8
tel: (604)299-0629 fax: (604)299-0629
Permit to Practice No: 150797 (BC)



CHECK BEFORE YOU DIG
INFORMATION ON EXISTING UTILITIES MAY NOT BE COMPLETE OR
ACCURATE. PRIOR TO CONSTRUCTION CONTRACTOR SHALL
OBTAIN LOCATIONS OF ALL EXISTING UTILITIES AND ADVISE THE
OWNER OF POTENTIAL CONFLICTS. THIS DRAWING TO BE
READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR
UTILITIES SERVICE LOCATIONS AND DETAILS. THE EXACT
LOCATION OF THESE UTILITIES SHALL BE DETERMINED ON SITE.

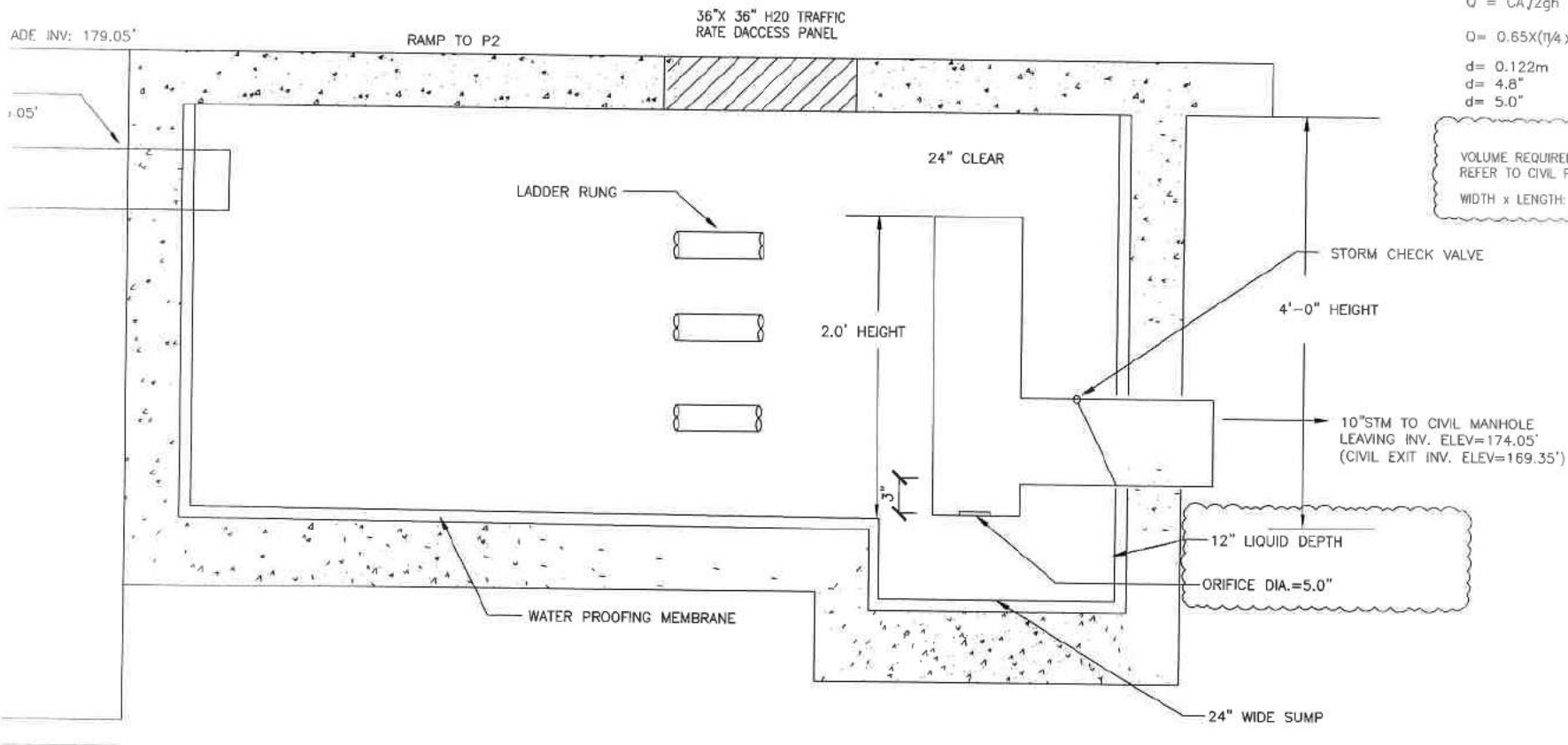
REV	DATE	BY	CHK	DESCRIPTION
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2	2024/03/13	BC	ON	REVISED PER IP COMMENTS
1	2024/01/21	BC	ON	REVISED PER IP COMMENTS
0	2023/12/07	BC	ON	ISSUED FOR IP
REV'S	DATE	BY	CHK	

TOWN OF LADYSMITH Engineering Department

THE ARKELL
RESIDENTIAL DEVELOPMENT
STORM WATER
MANAGEMENT PLAN

DESIGNED - BC
DRAWN - BC
METRIC SCALE - 1:500
APPROVED - ON
DATE - MAR 27, 2024

FILE #
22/8
CITY
9461 2 of 7



CALCULATIONS

$$Q = CA\sqrt{2gh} = 0.0263 \text{ cum}$$

$$Q = 0.65 \times (\frac{1}{4} \times d^2) / 2 \times 9.81 \times 0$$

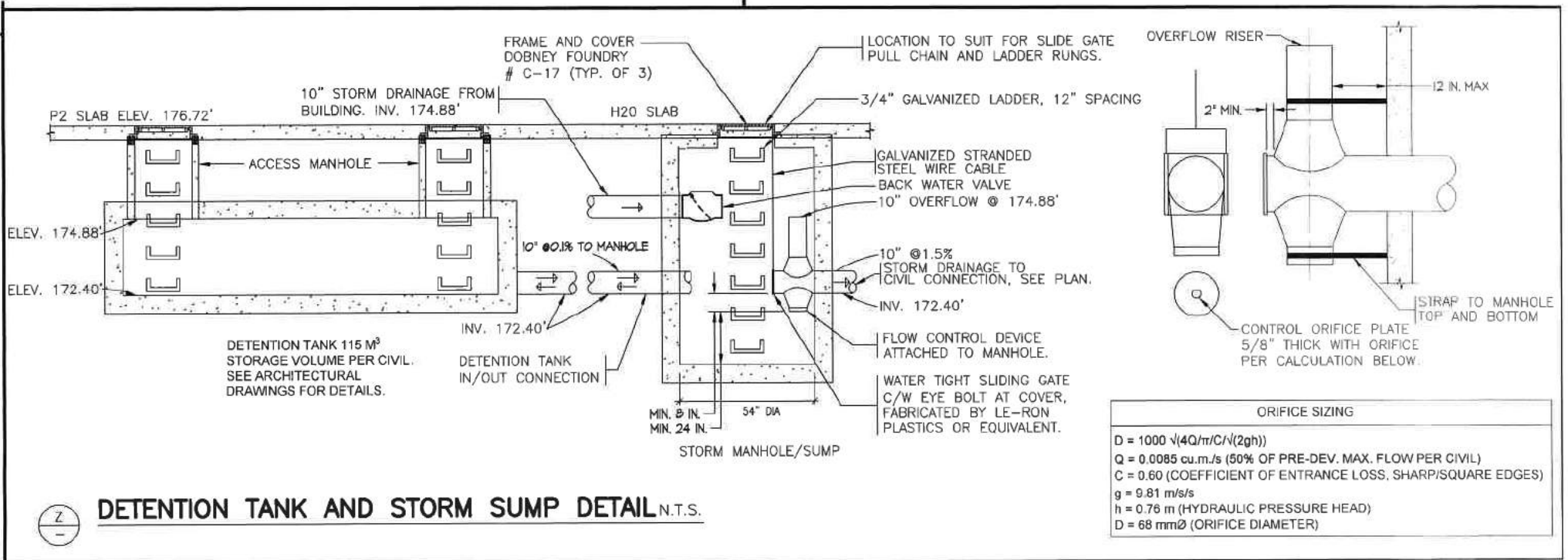
$$d = 0.122 \text{ m}$$

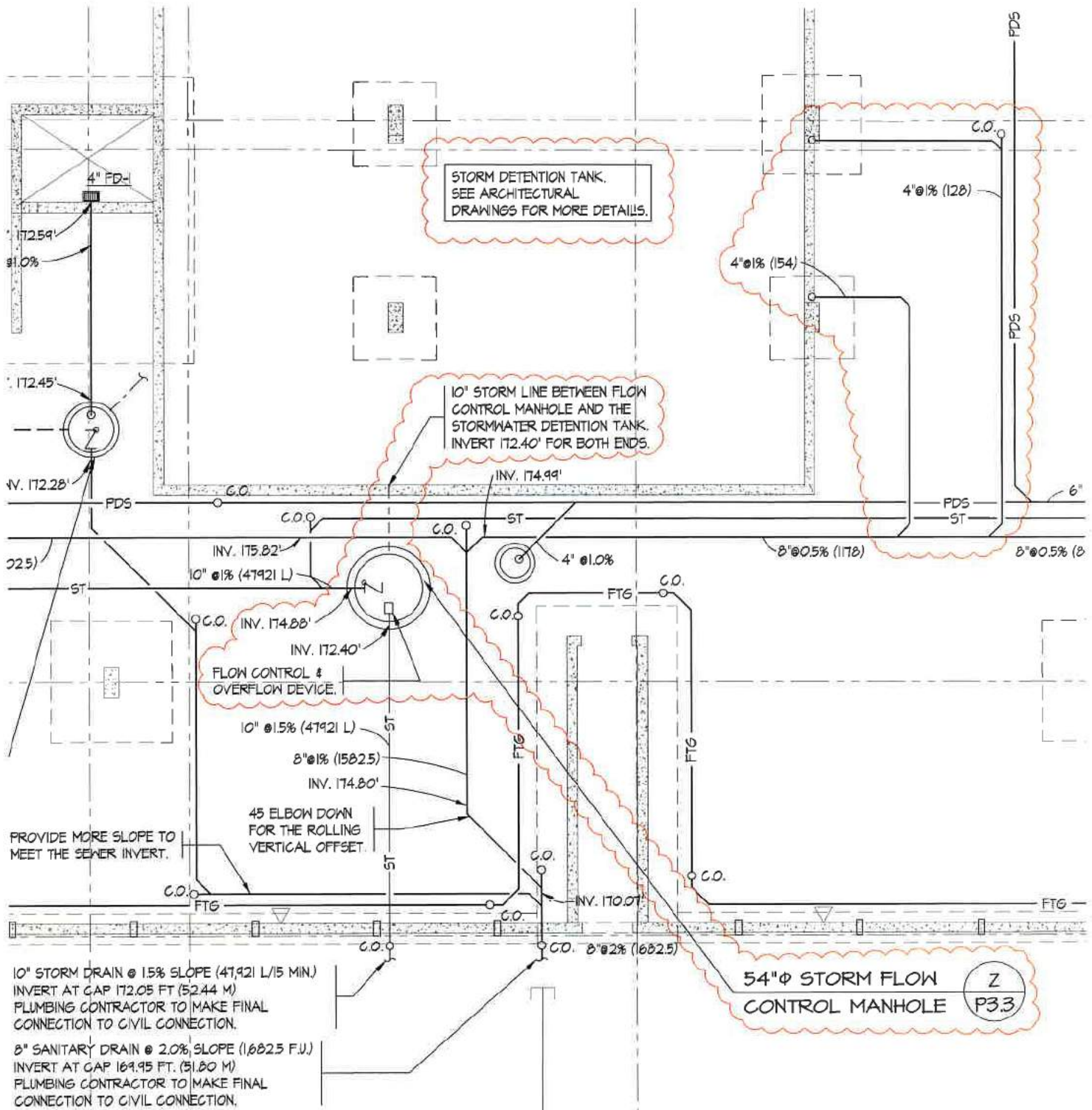
$$d = 4.8 \text{ ''}$$

$$d = 5.0 \text{ ''}$$

VOLUME REQUIRED: 332 FT³ (9.4m³)
 REFER TO CIVIL FOR EXACT VOLUME
 WIDTH x LENGTH: 13'x15'

DETENTION TANK DETAIL
 SCALE: N.T.S.





STORM DETECTION TANK.
SEE ARCHITECTURAL
DRAWINGS FOR MORE DETAILS.

10' STORM LINE BETWEEN FLOW
CONTROL MANHOLE AND THE
STORMWATER DETENTION TANK.
INVERT 172.40' FOR BOTH ENDS.

FLOW CONTROL &
OVERFLOW DEVICE.

54"Ø STORM FLOW
CONTROL MANHOLE
Z
P33

10" STORM DRAIN @ 1.5% SLOPE (4792 L/15 MIN.)
INVERT AT GAP 172.05 FT (52.44 M)
PLUMBING CONTRACTOR TO MAKE FINAL
CONNECTION TO CIVIL CONNECTION.

8" SANITARY DRAIN @ 2.0% SLOPE (1682.5 F.U.)
INVERT AT GAP 169.95 FT. (51.80 M)
PLUMBING CONTRACTOR TO MAKE FINAL
CONNECTION TO CIVIL CONNECTION.

**Schedule G -
Waste Management Plan**
DP 3060 22-14
670 Farrell Road
5 pages



Arkell Apartments and Townhouses

Waste Management Plan

Project Overview

Makon Projects Ltd. is a General Contractor executing commercial, institutional, and multi-family construction projects. Our projects range from new construction to tenant improvements and renovations.

As the general contractor for the Arkell Apartments and Townhouses, our objective is to create a sustainable, modern, and vibrant community that harmonizes with the surrounding area's natural beauty.

Makon uses experience from construction phasing to enhance efficiency and reduce waste by allowing for a focused, systematic approach to each stage of development. This approach enables better resource allocation, ensuring that materials and workforce are optimized for specific project milestones, leading to a more sustainable and resource-efficient construction process.

Assessment & Strategy

Efficient material planning is crucial to minimizing waste. Makon Projects Ltd. will conduct detailed assessments of project requirements, order materials in accurate quantities, and maintain a well-organized product inventory. This helps prevent overordering and ensures that materials are used optimally, reducing the likelihood of excess waste.

A construction coordinator will be responsible for training workers, subcontractors, and suppliers on proper waste management procedures for the work at the project site. The coordinator will distribute this waste management plan to each subcontractor when they begin on-site work. Workers, subcontractors, and suppliers shall be trained on proper waste management procedures for work at the project site.

Regular construction management meetings will review the procedures and locations established for salvage, recycling, and disposal. The specific areas of the project site designated for separating materials to be salvaged, recycled, reused, donated, and sold are noted on the site and building plans in Appendix A.

The following strategies will be considered to reduce the quantity of waste generated on-site:

1. Give preference to supply companies that can explicitly provide material in the dimensions needed for the project or in quantities closer to the required amount. A phased construction approach allows for more accurate material ordering.
2. Give preference to supply companies that provide minimal packaging beyond that required for product protection or ship materials in reusable or returnable packaging such as pallets or containers.
3. Give preference to supply companies that accept returns of unused construction material.
4. Protect materials from damage by storing them away from equipment traffic patterns, elevating them off the ground, holding them under cover, and keeping them level to prevent warping or twisting. Makon uses shipping containers to store and protect materials on site.
5. Use products efficiently by keeping them organized and emptying one pallet or shipment before opening the next. Having material handling machines on site promotes organization and efficiency.

Waste Management Plan

6. Additional waste reduction strategies should be considered by each contractor and brought to the construction manager for approval. These efforts are optional, but popular methods include Clean concrete chunks, old brick, broken blocks, and other masonry rubble that can be used as backfill along foundation walls.
7. Leftover dirt and aggregate from excavation may be stored separately and sold or reused in site Landscaping.
8. Branches and trees from site clearing can be stored separately and chipped for use on the site as landscaping mulch.
9. Set aside, in a marked and designated area, lumber and plywood/oriented strand board (OSB) cut-offs that can be used as fire blocking, spacers in header construction, and other ways.
10. Set aside, in a marked and designated container, clean sawdust for use in compost piles or around planting areas. Avoid sawdust that might contain painted or treated wood. This should be bagged separately and sent to appropriate facilities.
11. Set aside, in a marked and designated area, large drywall scraps for use as filler pieces in small hidden areas.
12. Install leftover insulation in interior wall cavities if it cannot be used on another job.

The following materials will be identified and categorized into different types of construction waste, including but not limited to:

- Concrete and masonry
- Wood
- Metals
- Plastics
- Cardboard and paper
- Glass
- Insulation materials
- Hazardous Materials

Material Handling Procedures

a. Concrete and Masonry:

- Salvage and reuse concrete where feasible.
- Crush concrete for use as fill or aggregate.
- Separate concrete and masonry debris for recycling.

b. Wood:

- Salvage and reuse wood materials on-site where possible.
- Separate wood waste for recycling or use as biomass fuel.
- Dispose of treated wood separately from untreated wood.

c. Metals:

- Collect and recycle all scrap metal.
- Separate ferrous and non-ferrous metals for recycling.
- Encourage the use of prefabricated materials to minimize metal waste.

d. Plastics:

- Minimize the use of plastic materials where possible.
- Identify and separate plastic waste for recycling.
- Work with suppliers to reduce excessive packaging.

e. Cardboard and Paper:

- Set up dedicated bins for cardboard and paper recycling on-site.
- Flatten and bundle cardboard for efficient recycling.
- Minimize paper use through digital documentation.

f. Glass:

- Salvage and reuse glass materials when applicable.
- Separate glass waste for recycling.
- Explore opportunities for architectural reuse of glass components.

g. Insulation Materials:

- Prioritize the use of recyclable and environmentally friendly insulation materials.
- Collect and recycle insulation materials at the end of their lifecycle.
- Dispose of hazardous insulation materials according to regulations.

h. Hazardous Materials:

- Identify hazardous materials used in construction.
- Implement proper handling, storage, and disposal procedures for hazardous materials.
- Comply with local, provincial, and federal regulations for hazardous waste management.

On-Site Sorting and Collection

Clearly, labelled waste bins will be placed around the job site for workers to place materials in their respective locations.

Workers should be educated on handling, storage, and disposal of materials to prevent unnecessary waste. Maintaining a culture of awareness and responsibility regarding waste reduction can empower employees to actively participate in minimizing waste on the job site.

Recycling Program

Types of material disposal bins on site will include, but are not limited to:

- Wood
- Metals
- Cardboard
- Compost (if applicable)

Materials will be disposed of promptly to prevent congestion on site or ruin the materials in a way that prohibits them from being recycled.

General waste produced from the project will be disposed of at either Milner Recycling or D.B.L. Disposal Services. This waste is recycled at these facilities before being transferred to a landfill.

Continuous Improvement

Feedback mechanisms will be implemented for staff and subtrades to continuously improve these waste management practices.

This waste management plan will be regularly reviewed and updated based on previous project experiences.

By adhering to this construction waste management plan, the project aims to adhere to LEED Gold standards while minimizing the environmental impact of construction activities. Regular monitoring and continuous improvement efforts will be implemented throughout the project's lifecycle.

Schedule H - Geotechnical Assessment

DP 3060 22-14

670 Farrell Road

23 pages

GEOTECHNICAL ASSESSMENT

Multi-Family Developments
670 Farrell Road (Lot 12),
Ladysmith, BC

Prepared For:

Core Group Civil Consultants
320 – 8988 Fraserton Court
Burnaby, BC V5J 5H8

Attention:

Mr. Sean Carroll

September 20, 2023



File No.: E2668.01
Revision No.: 00
Prepared by:
Chris Hudec, M.A.Sc., P.Eng.
John Hessels, ASCT

Lewkowich Engineering Associates Ltd.
1900 Boxwood Road
Nanaimo, BC, V9S 5Y2
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250-756-3831 (Fax)
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Permit to Practice Number: 1001802



DISCLAIMER

1. Lewkowich Engineering Associates Ltd. (LEA) acknowledges that this report, from this point forward referred to as “the Report,” may be used by the Town of Ladysmith (ToL) as a precondition to the issuance of a subdivision permit and that this Report and any conditions contained in the Report may be included in a restrictive covenant under Section 56 of the Community Charter and registered against the title of the Property at the discretion of the ToL.
2. This report has been prepared in accordance with standard geotechnical engineering practice solely for and at the expense of Core Group Civil Consultants. We have not acted for or as an agent of the ToL in the preparation of this report.
3. The conclusions and recommendations submitted in this report are based upon information from relevant publications, a visual site-assessment of the property, anticipated and observed subsurface soil conditions, current construction techniques, and generally accepted engineering practices. No other warrantee, expressed or implied, is made. If unanticipated conditions become known during construction or other information pertinent to the development becomes available, the recommendations may be altered or modified in writing by the undersigned.
4. This Report was authored, to the best of our knowledge at the time of issuance, with considerations for local requirements specific to the Authority Having Jurisdiction (AHJ and MOTI) and their standards for the preparation of such reports, the 2018 British Columbia Building Code (BCBC), and current engineering standards. Updates to municipal bylaws, policies, or requirements of the AHJ, or updates to the BCBC and/or professional practice guidelines may impact the validity of this Report.
5. This report has been prepared by Mr. Chris Hudec, M.A.Sc., P.Eng. and by Mr. John Hessels, ASCT. Messrs. Hudec and Hessels are both adequately experienced and are also members in good standing with their respective professional associations; and Engineers and Geoscientists of British Columbia (EGBC) Applied Science Technologists and Technicians of British Columbia (ASTT).

EXECUTIVE SUMMARY

1. The following is a brief synopsis of the Property, assessment methods, and findings presented in the Report. The reader must read the Report in its entirety; the reader shall not rely solely on the information provided in this summary.
2. The subject property, 670 Farrell Road (Lot 12), from this point forward referred to as “the Property,” is located on the east coast of Vancouver Island within the jurisdictional boundaries of the ToL. The proposed development for the Property at the time of this report consists of the construction of seven (7) townhouse buildings, and two (2) multi-family buildings on the subject property.
3. A site-specific hazard assessment was conducted to identify potential geotechnical hazards for the subject Property. No significant geotechnical hazards were identified.
4. The findings confirm the development is considered safe as proposed.

List of Abbreviations Used in the Report

Abbreviation	Title
BCBC	British Columbia Building Code
BP	Building Permit
EGBC	Engineers and Geoscientists of British Columbia
LEA	Lewkowich Engineering Associates Ltd.
ToL	Town of Ladysmith
MoTI	BC Ministry of Transportation and Infrastructure
CVRD	Cowichan Valley Regional District
MoE	BC Ministry of Environment
CGC	Core Group Civil Consultants



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1.0 INTRODUCTION

1.1 General

- a. As requested, LEA has carried out a Geotechnical Assessment of the above referenced property. This report provides a summary of our findings and recommendations.

1.2 Background

- a. We understand that the proposed development consists of the construction of seven (7) townhouse buildings, and two (2) multi-family buildings.
- b. The property is within the jurisdictional limits of the ToL. As per the ToL Official Community Plan, the property is located within two Development Permit Areas, DPA 4 Multi-Unit Residential and DPA 7 Hazard Lands. DPA 4 is primarily Form and Character with a sustainability component and does not pertain to this report. DPA 7 relates to steep slopes and slope stability, which this report addresses.
- c. The legal address for 670 Farrell Road is: LOT 12, DISTRICT LOT 41, OYSTER DISTRICT, PLAN EPP119981.

1.3 Assessment Methodology

- a. This assessment included a desktop review of relevant background information, including available development plans, registered covenants on title, aerial photographs, and published geology, topography and floodplain mapping (if any). Please refer to the list of references at the end of this report.
- b. A site reconnaissance was conducted on September 14, 2023, to visually assess current site conditions.
- c. This assessment was prepared with consideration of the referenced EGBC *Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia*.

2.0 SITE CONDITIONS

2.1 Physical Setting

- a. The subject property is located within the ToL near its eastern extents. The property is immediately bordered to the north by Farrell Road, then the Trans Canada Highway, to the west by single and multi family residential properties, to the south by a new residential subdivision yet to be built out, and to the east by undeveloped and rural residential property. The property is currently accessed from the eastern end of Farrell Road and the new road in the subdivision to the south named Stringer Way. In the future, three townhome buildings will be accessed from Farrell Road, with the remainder of the buildings

accessed via Stringer Way. Refer to Figure 1 below (Google Maps).



Figure 1: Property Location

2.2 Terrain and Features

- a. The property lies at the base of the foothills of the Nanaimo Lakes Highlands which rise to the west. The terrain generally rises from the northeast to the southwest, with elevations increasing from approximately 65m to 90m geodetic from Farrell Road to the cul-de-sac at the end of Stringer Way, for a total vertical relief of 25m. The terrain within the property can be generally described as gently rolling to hilly (i.e. average slope angles vary between 10 to 26 degrees from horizontal).
- b. No significant slopes were observed during our site visit, other than newly created bedrock slopes along the new Emergency Access Road which approach vertical. The steepest observed natural slopes approach a 2H:1V angle. Refer to Figures 2.2.a and 2.2.b below.



Figure 2.2.a: Bedrock slope



Figure 2.2.b: Natural slope

- c. At the time of our field review, the property did not contain any buildings or structures. The Emergency Access Road was constructed as part of the new subdivision to the south. The area fronting Farrell Road has been manipulated to create a 2H:1V or shallower slope above a newly constructed sidewalk. Refer to Figure 2.2.c below.



Figure 2.2.c: Slope above sidewalk along Farrell Road

- d. The Property is vegetated with second and third growth forest. Some areas were cleared and manipulated within 10m of Farrell Road, the Emergency Access Road, and Stringer Way. The manipulation was to re-grade soil into stable slopes for road support. Refer to Figure 2.2.d below.



Figure 2.2.d: Slope for road support

2.3 Watercourses

- a. No watercourses were observed within the subject property.

2.4 Regional Geology

- a. Based on surficial geology mapping¹, the property is located within a composite soil structure, consisting of the more prominent Squally formation (a colluvium deposit of rapidly-draining, gravelly loamy sand), and the less prominent Shawnigan formation (a moraine deposit of well-draining, gravelly sandy loam).
- b. Bedrock geology for the area² is classified as granodioritic intrusive rock of the Island Plutonic Suite from the early to mid Jurassic period.
- c. There are no known active fault lines that cross the subject property.

2.5 Soil Conditions

- a. A subsurface investigation was not included as part of this Geotechnical Hazard Assessment. Visual inspection of the site allowed for observations of minor soil exposures within the subject property.
- b. Observed soil conditions were consistent with the reported surficial geology mapping, and predominately consisted of silty sands and gravels overlying granitic bedrock at shallow depths. We expect thickness of soil cover would generally be in the range of 0 to 5m, however thicker localized soil deposits may be encountered. Bedrock outcrops and exposures were observed throughout the property.
- c. Fill materials were observed in some areas near Farrell Road, the Emergency Access Road, and Stringer Way, presumably placed as part of the cut and fill operations for the road construction.

2.6 Groundwater

- a. There was no evidence of ponding water, nor abnormal groundwater conditions observed during our visual reconnaissance of the property.
- b. Groundwater levels can be expected to fluctuate seasonally with cycles of precipitation. Groundwater conditions at other times and locations can differ from those observed at the time of our assessment.

3.0 DISCUSSIONS AND RECOMMENDATIONS

3.1 Covenant Review

- a. As part of our assessment, we have reviewed the legal title of the subject property, specifically relative to any restrictive covenants that may impact the conclusions or recommendations made in this report.
- b. At the time of this report there are six (6) covenants for the parent parcel, which includes the subject

Property. Of the six covenants, only one has geotechnical relevance. Covenant CB840905 contains the geotechnical assessment of the parent parcel. This report is more specific to Lot 12.

3.2 Steep Slopes

- a. In general, the Property contains gentle to moderately steep slopes which can safely accommodate townhouse and multi-family residential buildings under geotechnical review. No building shall be constructed on a bedrock slope that is steeper than 1 Horizontal to 1 Vertical (1H:1V, or 45 degrees), or a soil slope that is steeper than 2H:1V (27 degrees). Where applicable, a safe setback to the crest and toe of bedrock slopes steeper than 1H:1V, and soil slopes steeper than 2H:1V, shall be established at the time of development/building permit application.
- b. Based on the development plans (attached) site preparation will include cut and fill operations to facilitate level building and parking areas. Some areas will utilize retaining walls to accommodate grade changes. Most of the retaining walls will be incorporated into the rear walls of proposed buildings. However, some retaining walls will support parking areas or driveways within the development.
- c. As previously described, no slopes steeper than 2H:1V were observed on the property (except the rock cut along the new Emergency Access Road), though there may be localized steeper areas. Design details can be provided upon request for areas that may include steeper slopes and associated walls.

3.3 Seismic Criteria

- a. No liquefiable or compressible soils were encountered during our field review, nor are any expected to be encountered during construction.
- b. Based on the 2018 British Columbia Building Code, Division B, Part 4, Table 4.1.8.4.A, "Site Classification for Seismic Site Response," the soil and bedrock strata observed during our field review would be classified as "Site Class C" (very dense soil and soft rock).

3.4 Roadways and Utilities

- a. There is near surface bedrock present in areas of the proposed development. Where bedrock is near the ground surface, it is possible that roadways and utility service trench lines will require blasting to provide sufficient depth and spacing between service lines. Supplemental investigation to determine depth to bedrock may be required for planning purposes.

3.5 Lateral Earth Pressures

- a. Any future retaining wall construction within the Property shall be reviewed by the Geotechnical and/or Structural Engineer(s).

- b. Lateral earth pressure coefficients (K) for the design of the cast-in-place retaining walls are outlined in Table 1. It is assumed that there will be a level (0 degree from horizontal) backslope and no additional surcharge on the wall. It is noted that the methods employed are estimates and further analysis may be required after dimensions of the proposed structure have been determined. Drainage requirements for any wall construction shall be reviewed by the Geotechnical Engineer prior to construction.
- c. An average soil friction angle of 27° has been used to calculate the lateral earth pressure coefficients. It is assumed that retained soils are well compacted, cohesion-less sands and gravels, with a unit weight of 21 kN/m³.
- d. The Mononobe-Okabe (M-O) Method has been used to calculate the seismic active lateral earth pressure coefficients. The static active lateral earth pressure has been calculated using Coulomb's theory. The results for the passive earth pressures have been calculated using Rankine theory.
- e. The seismic thrust coefficient provides a value that combines both dynamic and static forces. Seismic forces used reflect values from the attached 2015 National Building Code interpolated seismic hazard values for the specific Property which are 0.483 Peak Ground Acceleration (PGA) (2% in 50year probability) and 0.257 PGA (10% in 50year probability).
- f. The total thrust for the static case acts through a point that is approximately H/3 above the toe of the wall. The dynamic component of the seismic thrust acts through a point at approximately 0.6H above the toe of the wall. See the following Table 3.6.1 for design values.

Lateral Earth Pressure Conditions	Earth Pressure Coefficient (K)	
Seismic Passive	Kp	2.66
Static Active	Ka	0.33
Seismic Active	Ke	0.55

Table 3.6.1 – Lateral Earth Pressure Coefficients

- g. The total thrust resulting from lateral earth pressures under each of the conditions outlined in Table 3.6.1 may be calculated using the relationship in Table 3.6.2.

$P = 0.5 K \gamma H^2$
P = Total Thrust (kN/m Length of Wall)
K = Earth Pressure Coefficient
γ = Soil Unit Weight (kN/m ³)
H = Height of Wall (m)

Table 3.6.2 – Calculation and Values for Lateral Earth Pressures

- h. The seismic active coefficient provides a value that combines both static and dynamic forces to determine total active thrust (Pae). The static component (Pa) acts through a point that is approximately H/3 above the toe of the wall. The dynamic component (ΔPae) acts through a point at approximately 0.6H above the toe of the wall. The total active thrust may then be considered to act at a height from the base of the wall using the following relationship in Table 3.6.3.

$h = [Pa (H/3) + \Delta Pae (0.6H)] \div Pae$
h = Height from Base of Wall (m)
Pa = Static Active Thrust (kN/m)
Pae = Total Active Thrust (kN/m)
ΔPae = Dynamic Active Thrust (kN/m)

Table 3.9.3 – Height from base of wall for Total Active Thrust

3.6 Retaining Walls

- a. There are several retaining walls proposed for the development. All retaining walls taller than 4 feet (1.2m), and any walls shorter than 4 feet (1.2m) that support structures require engineering, drawings, and associated building permits.
- b. Walls shorter than 4 feet (1.2m) are commonly called Landscape Walls to distinguish themselves from Retaining Walls, and do not require engineering in accordance with the ToL Retaining Wall bylaw (2014):
- 5.19. Retaining Walls Regulations:
- a) A single Retaining Wall may not exceed 1.2 metres in Height.
- b) All Retaining Walls located within 1.2 metres of each other will be collectively considered a single retaining wall for the purposes of determining Height.
- c. Landscape walls do not pose slope stability risks because they are small enough that deep seated slope stability failures do not occur due to the wall. It is LEAs opinion that landscape walls do not pose risk to the stability of buildings.

4.0 CONCLUSIONS

- a. From a geotechnical point of view, and provided the recommendations in this report are followed, the land is considered safe for the use intended (defined for the purposes of this report as a residential

development), with the probability of a geotechnical failure resulting in property damage of less than:

- i. 2% in 50 years for geotechnical hazards due to seismic events, including slope stability; and,
 - ii. 10% in 50 years for all other geotechnical hazards.
- b. Based on our field review of the subject property and the referenced project documentation, there are safe building sites available on the subject property for all proposed townhomes and multi-family buildings. The property will likely require manipulation of the soils and/or bedrock and possible retaining walls and/or rock cuts to accommodate a civil works, driveways, parking lots, and buildable areas for the various buildings.
- c. We recommend that prior to the construction for each proposed building, the proposed building plan and survey for each building be reviewed by a Geotechnical Engineer.

5.0 ACKNOWLEDGEMENTS

- a. Lewkowich Engineering Associates Ltd. acknowledges that this report may be requested by the Building Inspector (or equivalent) of the ToL as a precondition to the issuance of a building permit. It is acknowledged that the Approving Officers and Building Officials may rely on this report when making a decision on application for development of the land. We acknowledge that this report has been prepared solely for, and at the expense of Core Grope Civil Consultants. We have not acted for or as an agent of the ToL in the preparation of this report.

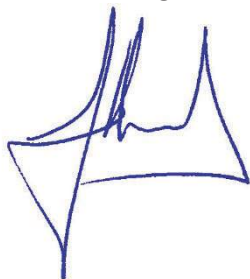
6.0 LIMITATIONS

- a. The conclusions and recommendations submitted in this report are based upon the information available at the time of this assessment. The recommendations given are based on the anticipated subsurface soil conditions, current construction techniques, and generally accepted engineering practices. No other warrantee, expressed or implied, is made. If unanticipated conditions become known during construction or other information pertinent to the development become available, the recommendations may be altered or modified in writing by the undersigned.

7.0 CLOSURE

- a. Lewkowich Engineering Associates Ltd. appreciates the opportunity to be of service on this project. If you have any comments, or additional requirements at this time, please contact us at your convenience.

Respectfully Submitted,
Lewkowich Engineering Associates Ltd.

A handwritten signature in blue ink, appearing to read 'John Hessels', is written over a faint, light blue rectangular stamp or watermark.

John Hessels, AScT
Managing Partner

Chris Hudec, M.A.Sc., P.Eng.
Senior Project Engineer

8.0 ATTACHMENTS

1. EGBC Appendix D , Landslide Assessment Assurance Statement.
2. 2015 National Building Code Seismic Hazard Calculation.
3. G3 Architecture Inc., “Residential Development, 670 Farrell Road, Ladysmith BC”, dated September 11, 2023, Drawing Numbers DP110 and DP150.

9.0 REFERENCES

1. BC Ministry of Environment, *Soils of South Vancouver Island British Columbia*, Soil Survey Report No. 44, Sheet 1, dated 1986.
2. iMapBC interactive web-map, accessed March 2020.
3. BC Ministry of Environment, *Geomorphology of Vancouver Island: Mass Wasting Potential*, Report No. RR 01, December 2005.
4. BC Ministry of Forests, Lands, Natural Resource Operations and Rural Development, *Flood Hazard Area Land Use Management Guidelines*, Amended January 1, 2018.
5. Engineers and Geoscientists of British Columbia, *Professional Practice Guidelines – Legislated Flood Assessments in a Changing Climate in BC*, Version 2.1, dated August 28, 2018.
6. Engineers and Geoscientists of British Columbia, *Guidelines for Legislated Landslide Assessments for Proposed Residential Developments in BC*, dated May 2010.
7. Town of Ladysmith map titled “Official Community Plan, Map 1, Land Use,” dated September 18, 2018.
8. Town of Ladysmith map titled “Official Community Plan, Map 2, Development Permit Areas,” dated September 18, 2018.

LANDSLIDE ASSESSMENT ASSURANCE STATEMENT

Notes: This statement is to be read and completed in conjunction with the Engineers and Geoscientists BC *Professional Practice Guidelines – Landslide Assessments in British Columbia* (“the guidelines”) and the current *BC Building Code (BCBC)*, and is to be provided for Landslide Assessments (not floods or flood controls), particularly those produced for the purposes of the *Land Title Act*, *Community Charter*, or *Local Government Act*. Some jurisdictions (e.g., the Fraser Valley Regional District or the Cowichan Valley Regional District) have developed more comprehensive assurance statements in collaboration with Engineers and Geoscientists BC. Where those exist, the Qualified Professional is to fill out the local version only. Defined terms are capitalized; see the Defined Terms section of the guidelines for definitions.

To: The Approving Authority (or Client)
Town of Ladysmith

Date: September 20, 2023 File# E2668

410 Esplanade, PO Box 220, Ladysmith, BC, V9G 1A2

Jurisdiction/name and address

With reference to (CHECK ONE):

- A. *Land Title Act* (Section 86) – Subdivision Approval
- B. *Local Government Act* (Sections 919.1 and 920) – Development Permit
- C. *Community Charter* (Section 56) – Building Permit
- D. Non-legislated assessment

For the following property (the “Property”):

670 Farrell Road: LOT 12, DISTRICT LOT 41, OYSTER DISTRICT, PLAN EPP119981

Civic address of the Property

The undersigned hereby gives assurance that they are a Qualified Professional and a professional engineer or professional geoscientist who fulfils the education, training, and experience requirements as outlined in the guidelines.

I have signed, authenticated, and dated, and thereby certified, the attached Landslide Assessment Report on the Property in accordance with the guidelines. That report must be read in conjunction this statement.

In preparing that report I have:

[CHECK TO THE LEFT OF APPLICABLE ITEMS]

- 1. Collected and reviewed appropriate background information
- 2. Reviewed the proposed Residential Development or other development on the Property
- 3. Conducted field work on and, if required, beyond the Property
- 4. Reported on the results of the field work on and, if required, beyond the Property
- 5. Considered any changed conditions on and, if required, beyond the Property
- 6. For a Landslide Hazard analysis or Landslide Risk analysis, I have:
 - 6.1 reviewed and characterized, if appropriate, any Landslide that may affect the Property
 - 6.2 estimated the Landslide Hazard
 - 6.3 identified existing and anticipated future Elements at Risk on and, if required, beyond the Property
 - 6.4 estimated the potential Consequences to those Elements at Risk
- 7. Where the Approving Authority has adopted a Level of Landslide Safety, I have:
 - 7.1 compared the Level of Landslide Safety adopted by the Approving Authority with the findings of my investigation
 - 7.2 made a finding on the Level of Landslide Safety on the Property based on the comparison
 - 7.3 made recommendations to reduce Landslide Hazards and/or Landslide Risks

LANDSLIDE ASSESSMENT ASSURANCE STATEMENT

8. Where the Approving Authority has **not** adopted a Level of Landslide Safety, or where the Landslide Assessment is not produced in response to a legislated requirement, I have:

- 8.1 described the method of Landslide Hazard analysis or Landslide Risk analysis used
 - 8.2 referred to an appropriate and identified provincial, national, or international guideline for Level of Landslide Safety
 - 8.3 compared those guidelines (per item 8.2) with the findings of my investigation
 - 8.4 made a finding on the Level of Landslide Safety on the Property based on the comparison
 - 8.5 made recommendations to reduce Landslide Hazards and/or Landslide Risks
9. Reported on the requirements for future inspections of the Property and recommended who should conduct those inspections

Based on my comparison between:

[CHECK ONE]

- the findings from the investigation and the adopted Level of Landslide Safety (item 7.2 above)
- the appropriate and identified provincial, national, or international guideline for Level of Landslide Safety (item 8.4 above)

Where the Landslide Assessment is not produced in response to a legislated requirement, I hereby give my assurance that, based on the conditions¹ contained in the attached Landslide Assessment Report:

A. SUBDIVISION APPROVAL

- For subdivision approval, as required by the *Land Title Act* (Section 86), "the land may be used safely for the use intended"
[CHECK ONE]
 - with one or more recommended additional registered Covenants
 - without an additional registered Covenant(s)

B. DEVELOPMENT PERMIT

- For a development permit, as required by the *Local Government Act* (Sections 488 and 491), my report will "assist the local government in determining what conditions or requirements it will impose under subsection (2) of [Section 491]"
[CHECK ONE]
 - with one or more recommended additional registered Covenants
 - without an additional registered Covenant(s)

C. BUILDING PERMIT

- For a building permit, as required by the *Community Charter* (Section 56), "the land may be used safely for the use intended"
[CHECK ONE]
 - with one or more recommended additional registered Covenants
 - without any additional registered Covenant(s)

¹ When seismic slope stability assessments are involved, Level of Landslide Safety is considered to be a "life safety" criteria, as described in Commentary JJJ of the *National Building Code of Canada (NBC) 2015, Structural Commentaries (User's Guide – NBC 2015: part 4 of division B)*. This states:

"The primary objective of seismic design is to provide an acceptable level of safety for building occupants and the general public as the building responds to strong ground motion; in other words, to minimize loss of life. This implies that, although there will likely be extensive structural and non-structural damage, during the DGM (design ground motion), there is a reasonable degree of confidence that the building will not collapse, nor will its attachments break off and fall on people near the building. This performance level is termed 'extensive damage' because, although the structure may be heavily damaged and may have lost a substantial amount of its initial strength and stiffness, it retains some margin of resistance against collapse."

LANDSLIDE ASSESSMENT ASSURANCE STATEMENT

Chris Hudec

Name (print)

September 20, 2023

Date

1900 Boxwood Road

Address

Nanaimo, BC V9S 5Y2

(250) 756-0355

Telephone

chudec@lewkowich.com

Email



(Affix PROFESSIONAL SEAL and signature here)

The Qualified Professional, as a registrant on the roster of a registrant firm, must complete the following:

I am a member of the firm **Lewkowich Engineering Associates Ltd.**
(Print name of firm)

with Permit to Practice Number **1001802**
(Print permit to practice number)

and I sign this letter on behalf of the firm.

2015 National Building Code Seismic Hazard Calculation

INFORMATION: Eastern Canada English (613) 995-5548 français (613) 995-0600 Facsimile (613) 992-8836
Western Canada English (250) 363-6500 Facsimile (250) 363-6565

Site: 48.965N 123.786W

User File Reference: 670 Farrell Road

2023-09-20 21:42 UT

Probability of exceedance per annum	0.000404	0.001	0.0021	0.01
Probability of exceedance in 50 years	2 %	5 %	10 %	40 %
Sa (0.05)	0.581	0.420	0.309	0.137
Sa (0.1)	0.891	0.646	0.473	0.209
Sa (0.2)	1.108	0.804	0.591	0.258
Sa (0.3)	1.138	0.825	0.606	0.259
Sa (0.5)	1.030	0.734	0.526	0.214
Sa (1.0)	0.592	0.401	0.275	0.102
Sa (2.0)	0.353	0.233	0.153	0.053
Sa (5.0)	0.110	0.063	0.035	0.011
Sa (10.0)	0.039	0.022	0.012	0.004
PGA (g)	0.483	0.350	0.257	0.111
PGV (m/s)	0.748	0.509	0.353	0.130

Notes: Spectral ($S_a(T)$, where T is the period in seconds) and peak ground acceleration (PGA) values are given in units of g (9.81 m/s^2). Peak ground velocity is given in m/s . Values are for "firm ground" (NBCC2015 Site Class C, average shear wave velocity 450 m/s). NBCC2015 and CSAS6-14 values are highlighted in yellow. Three additional periods are provided - their use is discussed in the NBCC2015 Commentary. Only 2 significant figures are to be used. **These values have been interpolated from a 10-km-spaced grid of points. Depending on the gradient of the nearby points, values at this location calculated directly from the hazard program may vary. More than 95 percent of interpolated values are within 2 percent of the directly calculated values.**

References

National Building Code of Canada 2015 NRCC no. 56190; Appendix C: Table C-3, Seismic Design Data for Selected Locations in Canada

Structural Commentaries (User's Guide - NBC 2015: Part 4 of Division B)
Commentary J: Design for Seismic Effects

Geological Survey of Canada Open File 7893 Fifth Generation Seismic Hazard Model for Canada: Grid values of mean hazard to be used with the 2015 National Building Code of Canada

See the websites www.EarthquakesCanada.ca and www.nationalcodes.ca for more information



GEOTECHNICAL MEMO

Arkell Apartments
Unit 3 – 9745 Willow Street
Chemainus, BC
V0R 1K0

File: E2668.03
Date: February 15, 2024

ATTENTION: Mr. Adam Kelln
SUBJECT: DP 22-14 APPLICATION REVIEW RESPONSE

LOCATION: LOT 12, 670 FARRELL ROAD, LADYSMITH, BC

1. As requested, Lewkowich Engineering Associates Ltd. (LEA) has reviewed the project drawings and February 8th, 2024 email from the ToL planner Andrew Wilson. This memo responds to the request for additional information relating to the DPA 7 Hazard lands guidelines. The replies are detailed below:
 - a. *“Location/siting of buildings and building design and their impact on slope stability and drainage based on review of the revised site plan”.*

The revised site plan includes several minor changes to the location of Civil works none of which change the conclusions and recommendations of our Geotechnical Report E2668.01r3.
 - b. *“Driveway accesses, pedestrian walkways/footpaths, and staircases”*

We have reviewed the project drawings for the above items and conclude that these items will require minor manipulation of bedrock or very dense soils which will not affect the stability of the slope.
 - c. *“Landscaping and vegetation removal and any recommendations for the proposed land clearing schedule – additional comments if a phased approach is used for land clearing”.*

We do not anticipate any slope stability issues relating to land clearing, however the impermeable stratum underlying the site will create surface flows that follow the dips in the topography and ultimately exit to the lower reaches of the site (along Farrell Road). It would be prudent to have an Erosion and Sediment Control Plan (ESCP) in place prior to any clearing of trees and or removal of topsoil. A phased approach to the removal of topsoil’s (stumps, low lying vegetation) will lessen the reliance and scope of the ESCP.
 - d. *“Review and comment on the Civil Plans for Stormwater Management and make any further recommendations”*

The stormwater management plan will include detention systems that meet the project criteria as noted on the plans. We anticipate these facilities to include collected roof and hardscape areas be

directed to detention facilities such as bioswales and oversized detention pipe galleries or other communal methodologies outside of the building footprint areas. The development area provides adequate areas for these facilities to be installed without detriment to the development or areas adjacent to the development. Specifics of this infrastructure should be completed as part of the detailed design process and reviewed prior to construction.

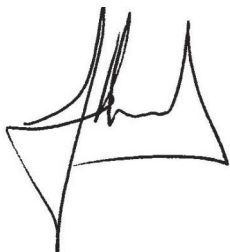
- e. *“General comments for minor alterations to the development such as installation of small accessory buildings, fences, etc. in case these need to be added in the future (a subsequent DP Amendment would not be required if this is addressed in the Geotech Report for this DP).”*

Minor alterations of the slope to accommodate small accessory buildings, fences, kiosks etc will not have a significant effect to the slope stability as long as they are founded on undisturbed dense soil, rock or compacted structural fill.

2. Lewkowich Engineering Associates Ltd. appreciates the opportunity to be of service on this project. If you have any comments, or if we can be of further assistance, please contact us at your convenience.

Respectfully Yours,

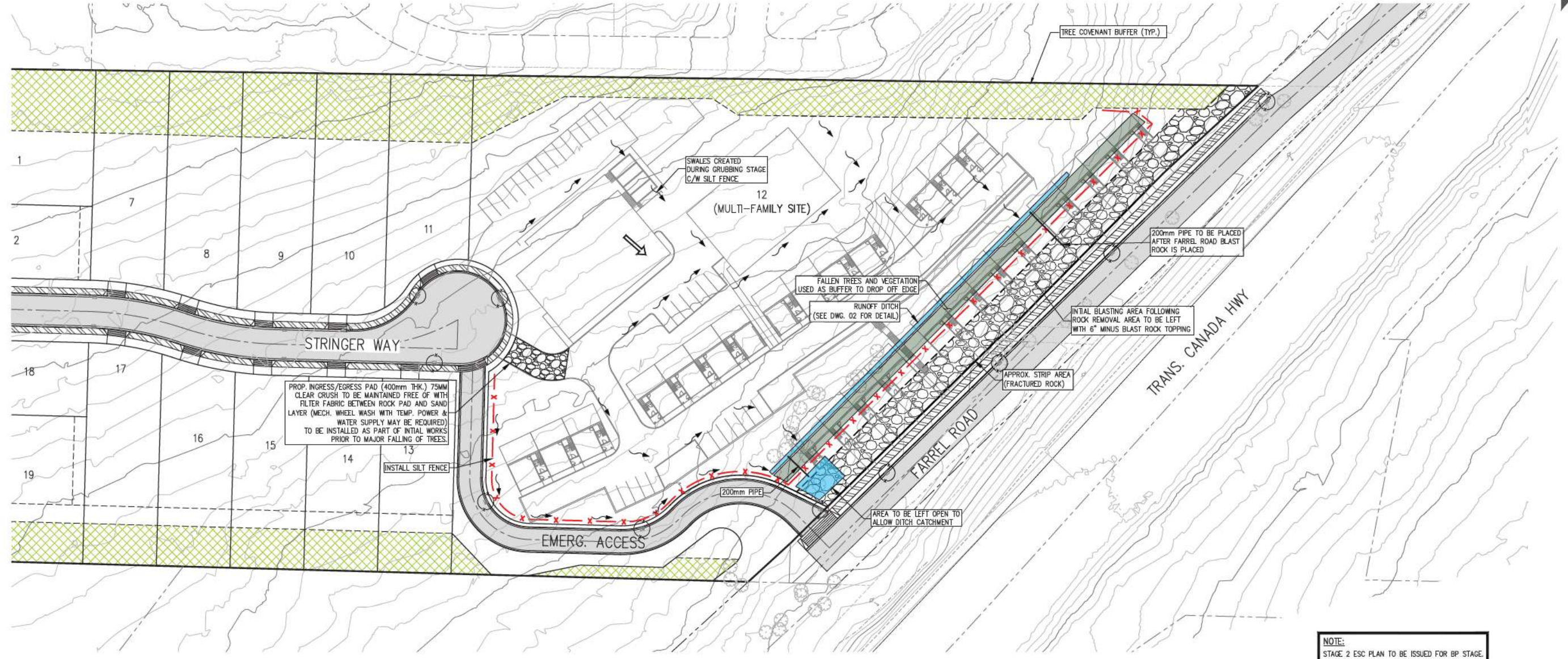
Lewkowich Engineering Associates Ltd.



John Hessels, ASCT
Senior Technologist

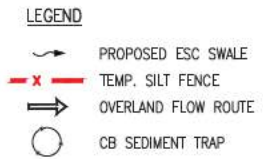
Chris Hudec, M.A.Sc., P.Eng.
Senior Project Engineer

STAGE 1: CLEARING/BLASTING
DP SUBMISSION



NOTE:
STAGE 2 ESC PLAN TO BE ISSUED FOR BP STAGE.

Schedule J - Erosion and Sediment Control Plan
DP 3060 22-14
670 Farrell Road
2 pages



ESC NOTES

- FOR ESC GENERAL NOTES, SEDIMENT CONTROL NOTES, ESC SPECIFICATIONS, AND DETAILS SEE DWG. 2

TOWN OF LADYSMITH STD. NOTES

- ALL WORK AND MATERIALS ARE TO BE AS DESCRIBED IN THE TOWN OF LADYSMITH "ENGINEERING STANDARDS AND SPECIFICATIONS" OR AS OTHERWISE APPROVED BY THE ENGINEER
- CONNECTION TO, OR ALTERATION OF, EXISTING TOWN-OWNED UTILITIES, WILL BE UNDERTAKEN BY TOWN OF LADYSMITH FORCES ONLY, UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER
- A "CONSTRUCTION PERMIT TO INSTALL WORKS WITHIN STREETS, LANES AND TOWN PROPERTY AREAS", WILL BE REQUIRED WHERE CONSTRUCTION IS TO BE UNDERTAKEN IN TOWN OF LADYSMITH RIGHT-OF-WAYS AND/OR ON TOWN OF LADYSMITH OWNED UTILITIES OR PROPERTIES
- UPON APPROVAL OF THE PERMIT THE TOWN OF LADYSMITH ENGINEER SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF WORK

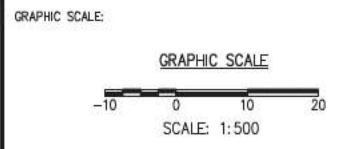
STAGE 1 - TREE CLEARING AND BLASTING:

- DURING CLEARING A LEAVE STRIP IS TO BE LEFT ALONG FARRELL ROAD, APPROX. 8m WIDE FOR ENTIRE LENGTH (FRACTURED ROCK).
- SILT FENCING PLACED ALONG EMERGENCY ACCESS.
- COMPLETE INITIAL WATER MANAGEMENT MEASURES - INTERCEPTOR DITCHES
 - STABILIZE DITCH INVERTS WITH ROCK ARMORING & CHECK DAMS PER ESC PLAN SPECIFICATIONS
 - STABILIZE CUT-SLOPES WITH Flexterra FGM @ 4500kg/ha
- CONSTRUCT INTERIM ACCESS ROADS COMPLETE WITH FORMAL ROAD BASE MULCH AND CAP RUNNING SURFACES
- COMPLETE DECKING OF FELLED TIMBER
- GRUBBING OF AREAS MAY PROCEED
 - STABILIZE DISTURBED SURFACES WITH BLOWN STRAW MULCH AT 3500 kg/ha
 - INSTALL FORMAL SLOPE BREAKS AND/OR PERIMETER CONTROL BMP'S PER ESC PLAN SPECIFICATIONS
- BLASTING
 - BLASTING TO START ADJACENT TO FARRELL ROAD FOLLOWING GRUBBING.

BENCHMARK:
ELEVATIONS WERE DERIVED FROM NORTH
COWICHAN, CONTROL MONUMENT 8062
ELEVATION - 67.772m

SEAL:

CoreGroup
CONSULTANTS
LAND DEVELOPMENT SERVICES
320-8988 FRASERTON COURT
BURNABY, BC V5J 5H8
tel. (604)299 0605 fax. (604)299 0629
Permit To Practice No. 1001017 (BC)



CHECK BEFORE YOU DIG
INFORMATION ON EXISTING UTILITIES MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING UTILITIES AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR UTILITIES, SERVICE LOCATIONS, AND DETAILS. THE EXACT LOCATION OF THESE UTILITIES SHALL BE DETERMINED ON SITE.

REV'D	DATE(Y/M/D)	DRN	CHD
0	2023/09/13	BC	CN

TOWN OF LADYSMITH Engineering Department

DESIGNED - BC
DRAWN - SG
METRIC SCALE - 1:500
APPROVED - CN
DATE - SEPT. 13, 2023

FARRELL ROAD SUBDIVISION
ESC STAGE 1 CLEARING & BLASTING:
670 / 674 FARRELL RD., TOWN OF LADYSMITH, BC

PLA FILE # 3320-20-02
CONSULTANTS DWG No- 2276
CITY DOC. No-
SHEET 1 of 2

NOTES:

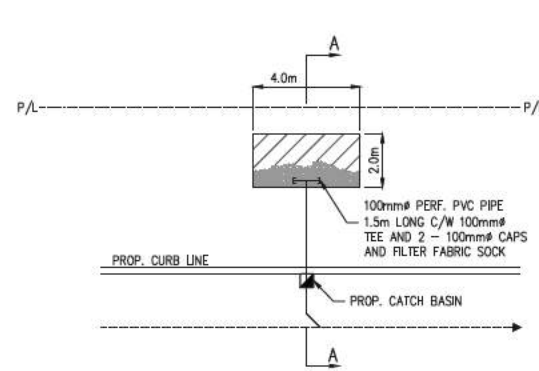
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT AND MAINTAIN THE SILTATION AND EROSION CONTROL WORKS DURING CONSTRUCTION.
- ALL SILT CONTROL WORKS TO BE CONSTRUCTED PRIOR TO COMMENCEMENT OF EARTHWORKS, FOUNDATION EXCAVATION AND UNCAPPING OF THE STORM SERVICE CONNECTION CAP AND DISCHARGING INTO THE STORM SEWER SYSTEM. ADDITIONAL FACILITIES MAY BE REQUIRED, AS NECESSARY, TO CONTROL THE DISCHARGE OF SILT LADEN WATERS.
- THE ONLY ACCESS TO THE SITE IS TO BE VIA THE SITE ACCESS PAD. ACCESS PAD TO BE INSTALLED PRIOR TO EARTHWORKS ACTIVITIES. ANY SILTATION OR OTHER DELETERIOUS MATERIALS DEPOSITED ON THE ROAD SURFACE MUST BE CLEANED UP IMMEDIATELY. GRANULAR MATERIAL AT CURBS OR SIDEWALK SHOULD BE PROPERLY COMPACTED TO A POINT AT LEAST LEVEL WITH THE TOP EDGE OF THE CONCRETE IN ORDER TO PROVIDE FROM ADEQUATE SUPPORT FOR THE CURB OR SIDEWALK.
- NO SILT LADEN WATER FROM EXCAVATIONS SHALL BE PUMPED OUT OR OTHERWISE DIRECTLY DISCHARGED TO A DITCH SYSTEM THUS BYPASSING THE SEDIMENT CONTROL FACILITIES.
- ROAD MAINTENANCE - CONTRACTOR MUST MAKE EVERY EFFORT TO MINIMIZE THE AMOUNT OF SOIL TRANSPORTED FROM THE SITE ONTO THE ROADWAY. THIS IS PARTICULARLY IMPORTANT WHEN ACCESSING THE SITE. THE PAVED ROAD SURFACE MUST BE REGULARLY CLEANED OF ACCUMULATIONS OF SOIL BY THE CONTRACTOR. NO SOIL, SAND OR OTHER MATERIAL WITH A HIGH SEDIMENT CONTENT SHALL BE DEPOSITED OR PILED OUTSIDE OF THE PROPERTY BOUNDARIES, PARTICULARLY ON THE PAVED ROAD SURFACE. NO MATERIAL OF ANY TYPE IS TO BE DEPOSITED IN SUCH A WAY THAT IT INTERFERES WITH THE FLOW WATER ALONG THE CURBS OR INTO CATCH BASINS. ROADS SHALL BE SWEEP NOT WASHED WITH WATER DIRECTED TO STORM SEWER.
- DISTURBED SOILS WHICH WILL BE LEFT "AS-IS" FOR MORE THAN 30 DAYS WILL BE MULCHED, SEEDED OR OTHERWISE EROSION CONTROLLED ON A SEMI-PERMANENT BASIS.
- ALL EARTHWORKS TO BE CARRIED OUT IN DRY WEATHER, PREFERABLY BETWEEN MAY & SEPTEMBER. CONTRACTOR TO SUSPEND EARTHWORKS OPERATIONS DURING HEAVY RAINFALL EVENTS.
- ESC DWGS. HAVE BEEN REVIEWED AND ACCEPTED BY THE ENVIRONMENTAL CONSULTANT. ALL ESC WORKS WILL BE UNDER THE DIRECTION OF THE ENVIRONMENTAL MONITOR.

SEDIMENT CONTROL NOTES:

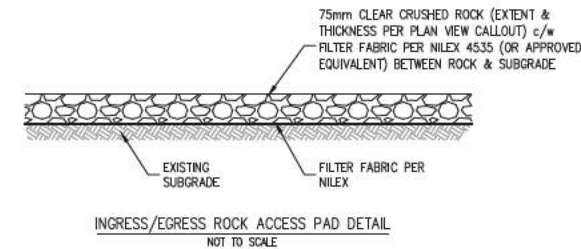
- DEVELOPER'S CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE SITE SILTATION CONTROL AS NECESSARY TO PREVENT THE RELEASE OF SILT LADEN WATERS FROM ENTERING ANY STORM SEWER AND DITCH SYSTEM.
- DEVELOPER'S CONTRACTOR TO INSTALL TEMPORARY SITE SILTATION CONTROL TRAPS AT EACH CATCHBASIN WHICH ACCEPTS ANY SILT LADEN WATERS.
- DEVELOPER'S CONTRACTOR TO INSTALL TEMPORARY GRAVEL BERM OR SILT FENCE BESIDE ALL CURB & GUTTER AREAS PRIOR TO EARTHWORKS ACTIVITY.
- DEVELOPER'S CONTRACTOR TO PROPERLY INSTALL TEMPORARY SILT FENCE AROUND ALL STOCKPILES OR UNVEGETATED FILL AREAS.
- DEVELOPER'S CONTRACTOR TO INSTALL SLOPE BREAKS PER PLAN SPECIFICATIONS AND/OR AT MIN. 30m SLOPE LENGTH SPACING.
- DEVELOPER'S CONTRACTOR TO MAINTAIN SITE SILTATION CONTROL TRAPS AS NECESSARY TO ENSURE PROPER OPERATION UNTIL ALL CML CONSTRUCTION FOR LOTS IS COMPLETED. AT TIME OF FINAL INSPECTION, CONTRACTOR TO CAP PIPE LEADS TO CATCHBASINS AND INFILL TRAPS, SWALES AND TO INSTALL ASPHALT CATCH BASIN SEDIMENT TRAPS.
- DEVELOPER'S CONTRACTOR TO REMOVE SILT FROM ASPHALT CATCH BASIN SEDIMENT TRAPS ON A REGULAR AND AS-NEEDED BASIS UNTIL THE END OF THE MAINTENANCE PERIOD OR UNTIL 90% OF LOTS HAVE BEEN BUILT ON, WHICHEVER OCCURS LATER.
- SITE DISCHARGE TO BE LIMITED TO 25 NTU AFTER NON-SIGNIFICANT & 75 NTU AFTER SIGNIFICANT RAINFALL EVENTS WHEN PERMIT ISSUED.
- EXPOSED SLOPES TO BE COVERED IN POLY PLASTIC IMMEDIATELY TO PREVENT CREATION OF SILT-LADEN RUNOFF. PERMANENT (AND TEMPORARY SLOPES TO BE LEFT FOR MORE THAN 30 DAYS WITHIN THE GROWING SEASON (PRIOR TO SEPTEMBER 15)) TO BE SEEDED AND COVERED WITH STRAW AT A MINIMUM RATE OF 5,000kg/ha.
- HALO/CLEAR BERT OR APPROVED EQUAL TO BE STORED ON SITE AT ALL TIMES. THIS SHOULD BE IMPLEMENTED WITHIN ONSITE DITCHES TO TREAT SITE RUNOFF PRIOR TO ENTRY TO SEDIMENT CONTROL FACILITIES TO PROVIDE "PRE-TREATMENT" AND AUGMENT SCS PERFORMANCE.
- CONTRACTOR TO ENSURE ALL ROADS ADJOINING THE SITE ARE TO BE KEPT CLEAN AND FREE OF DEBRIS. -VACUUM SWEEP (NOT FLUSHED).

STAGE 1 - SITE CLEARING PHASE

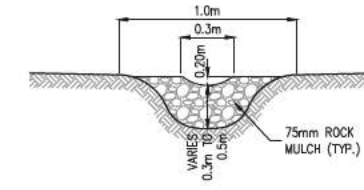
- PRIOR TO ANY CLEARING OR EXCAVATION, THE SITE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF THE WORK AREA AS SHOWN TO PREVENT ACCESS TO UNDISTURBED AREA (AS APPLICABLE).
- PRIOR TO SITE STRIPPING AND EXCAVATION, SILTATION CONTROL SWALES COMPLETE WITH DRAIN ROCK CHECK DAMS SHALL BE INSTALLED WHERE APPLICABLE.



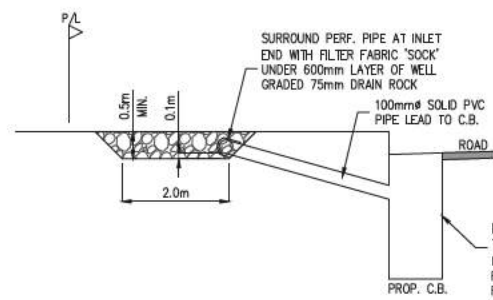
TEMP. SEDIMENT CONTROL TRAP
AT EACH CATCH BASIN (BEFORE ASPHALT)
N.T.S.



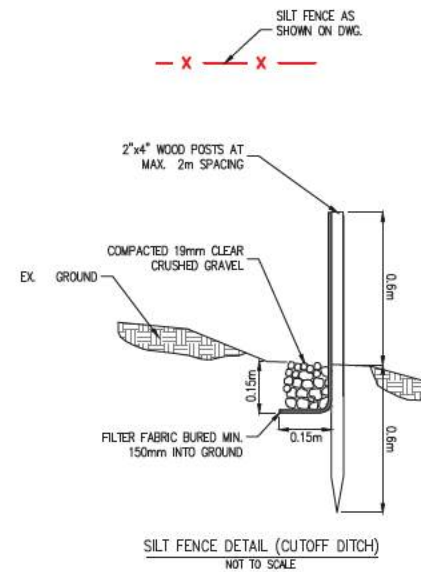
INGRESS/EGRESS ROCK ACCESS PAD DETAIL
NOT TO SCALE



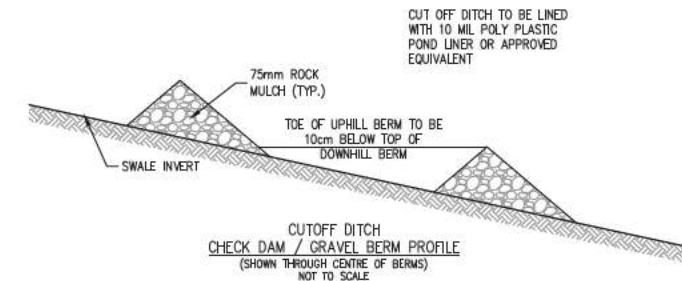
CUTOFF DITCH
CHECK DAM / GRAVEL BERM SECTION
W/ SMALL NOTCH FOR GREATER RAINFALL EVENTS
NOT TO SCALE



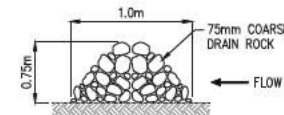
SECTION A-A
SEDIMENT CONTROL DURING SITE
CONSTRUCTION BY DEVELOPER'S CONTRACTOR
N.T.S.



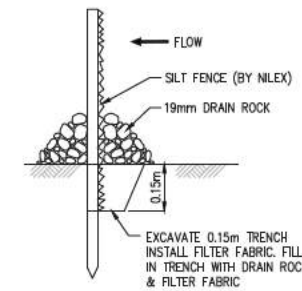
SILT FENCE DETAIL (CUTOFF DITCH)
NOT TO SCALE



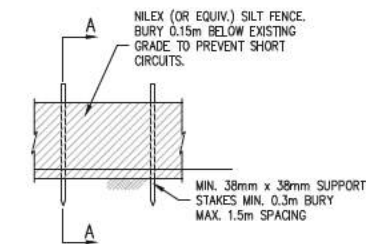
CUTOFF DITCH
CHECK DAM / GRAVEL BERM PROFILE
(SHOWN THROUGH CENTRE OF BERMS)
NOT TO SCALE



ROCK BERM
TO BE LOCATED AS DIRECTED BY THE ENGINEER OF RECORD. NO SILT LADEN WATER TO LEAVE SITE.
N.T.S.



SECTION A-A
SILT FENCE DETAIL
N.T.S.



SILT FENCE PROFILE @ STORM CONNECTION
N.T.S.

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BENCHMARK: ELEVATIONS WERE DERIVED FROM NORTH COMCHAM, CONTROL MONUMENT 8062 ELEVATION = 67.772m	SEAL:
---	--------------

CoreGroup
CONSULTANTS
LAND DEVELOPMENT SERVICES
320-8888 FRASERTON COURT
BURNABY, BC V5J 5H8
tel. (604)299 0605 fax. (604)299 0629
Permit to Practice No. 1001017 (BC)

GRAPHIC SCALE:

GRAPHIC SCALE
-20 0 20 40
SCALE: 1:1000

CHECK BEFORE YOU DIG

INFORMATION ON EXISTING UTILITIES MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING UTILITIES AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR UTILITIES, SERVICE LOCATIONS, AND DETAILS. THE EXACT LOCATION OF THESE UTILITIES SHALL BE DETERMINED ON SITE.

REV'D	DATE(Y/M/D)	DRN	CH'D
0	2023/09/13	BC	CN
DEVELOPMENT PERMIT SUBMISSION			

TOWN OF LADYSMITH		Engineering Department	
DESIGNED - BC	DRAWN - SG	FLA FILE # 3320-20-02	
METRIC SCALE - 1:1000		CONSULTANTS DWG No- 2276	
APPROVED- CN	DATE- SEPT. 13, 2023		CITY DOC. No- -
670 / 674 FARRELL RD., TOWN OF LADYSMITH, BC		SHEET 2 OF 2	



AQUAPARIAN

Environmental Consulting Ltd.



January 29, 2024

Robyn Kelln
2188 North End Road
Salt Spring Island BC
V8K 1E1

Schedule K - Bird Nesting Report
DP 3060 22-14
670 Farrell Road
3 pages

Via Email: robynkelln@yahoo.com

MEMO: 670 FARRELL ROAD LADYSMITH BC CLEARING PHASE

Aquaparian Environmental Consulting Ltd (Aquaparian) was retained to provide comments for proposed clearing of a stand of second growth forest within a parcel located at the end of Farrell Road in Ladysmith BC. The parcel is proposed to be developed as a residential subdivision. As understood, the parcel is under construction and nearing the end of permitting submissions for lot development.

Birds are protected by the following federal and provincial Acts:

Federal Migratory Birds Convention Act, 1994. Most species of birds in Canada are protected under this act. "Migratory birds" are defined by Article I of the Convention which names the families and sub-families of birds protected, and provides some clarification of the species included. In general, birds not falling under federal jurisdiction within Canada include grouse, quail, pheasants, ptarmigan, hawks, owls, eagles, falcons, cormorants, pelicans, crows, jays, kingfishers, and some species of blackbirds. Timing for vegetation clearing will be provided in the recommendations section to avoid impacts to migratory birds.

Section 34 of the Provincial Wildlife Act, states that a person commits an offence if the person, except as provided by regulation, possesses, takes, injures, molests or destroys:

- (a) a bird or its egg,
- (b) the nest of an eagle, peregrine falcon, gyrfalcon, osprey, heron or burrowing owl, or
- (c) the nest of a bird not referred to in paragraph (b) when the nest is occupied by a bird or its egg.

A brief walk through the site did not identify any trees within or in proximity of the subject parcel that would be suitable for an eagle or heron nest. Other forest bird species are expected to utilize the parcel for nesting during the breeding season.

Environment and Climate Change Canada identifies the Vancouver Island and lower mainland as Zone A1 to provide general nesting season guidelines for migratory birds. For forested habitat, the general guideline for the nesting season is March 15th to August 15th. However, some municipalities have adopted their own guidelines typically from March 1st to August 31st to capture seasonal variation. For example, if the warm spring weather arrives earlier than normal, migratory birds can start their breeding cycle a little earlier than typical. Similarly, if the spring season starts late, some breeding may be delayed, or if there is poor weather in the middle of the season, a second clutch of eggs may be laid later in the season.

Best Management Practices recommends that vegetation clearing be completed outside of the migratory bird nesting season to avoid direct or indirect (disturbance) to nesting birds. During the nesting season, it is not recommended to clear during the peak season (May 1 – July 15). It may be possible to clear vegetation either early in the season or late in the season, but a suitably qualified environmental professional is required to complete a nesting survey within a few days of proposed clearing. If an active nest is discovered, a no-disturbance buffer is delineated and the nest is checked again, sometimes repeatedly, until fledging has been confirmed. This results in additional cost and project delays.

This year appears to be unusually warm and may result in an early spring season. As such Aquaparian recommends that clearing should be completed prior to March 1st if it is possible, and no later than March 15th. After that date, a pre-clearing nest assessment will be required.

If you have any questions or require further information, please contact the undersigned.

Sincerely,

AQUAPARIAN ENVIRONMENTAL CONSULTING LTD



Sarah Bonar B.Sc., R.P.Bio
Senior Biologist / Principal.

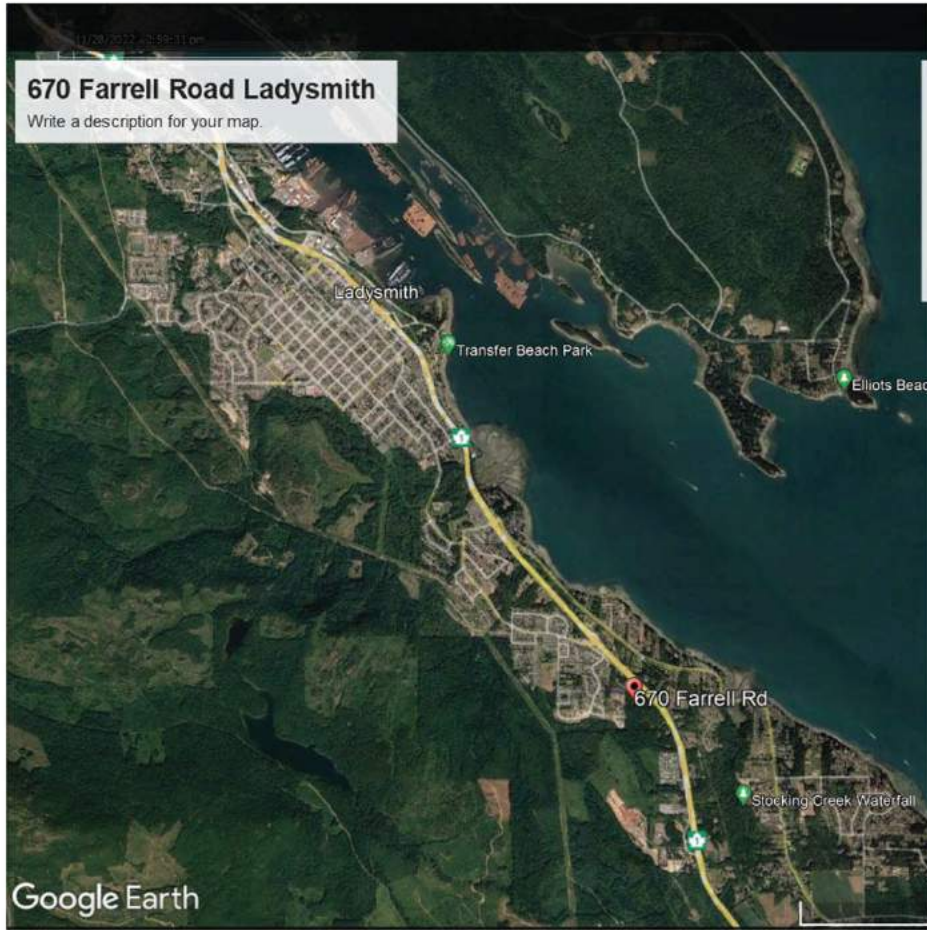
[HTTPS://NETORG5387218.SHAREPOINT.COM/SITES/SHARED/SHARED DOCUMENTS/DOCUMENTS/PROJECTS/PROJECTS/N610 FARRELL RD/FARRELL RD.DOCX](https://netorg5387218.sharepoint.com/sites/SHARED/SHARED%20DOCUMENTS/DOCUMENTS/PROJECTS/PROJECTS/N610%20FARRELL%20RD/FARRELL%20RD.DOCX)



203-321 Wallace St, Nanaimo, BC V9R 5B6

SARAH BONAR 250-714-8446 CHRIS ZAMORA 250-714-8864

SITE LOCATION MAP





KEY SITE PLAN
(FOR REFERENCE ONLY)

230507	DESIGN DEVELOPMENT
230513	DESIGN DEVELOPMENT
230616	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
230619	DEVELOPMENT PERMIT COORDINATION
230622	FINAL DESIGN
231007	DEVI PRADING PLAN
231001	ISSUED FOR DEVELOPMENT PERMIT
240107	SITE FORMATION
240107	MAJOR SITE REVISIONS PER COMMENTS
240201	REVISED NEW SITE SURVEY (GRADUS) UPDATE
240208	UPDATE SITE ELEVATIONS
240216	UPDATE SITE PLAN REMOVE TRUCK PATH
240307	NO FINI TECH FORWASDING AND REEVAL SQUARE INCLUDE BUS CLARIFICATION & S.L.T. DETAILS, USE DET.

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THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #SP22-14

TITLE:
RENDERINGS

SCALE:	N.T.S.	DRAWING NO.:
DATE:	24/03/03	DP600

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230207	DESIGN DEVELOPMENT
230213	DESIGN DEVELOPMENT
230216	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
230219	DEVELOPMENT PERMIT COORDINATION
230222	FINAL DESIGN
231007	DEVIY PHASING PLAN
231001	ISSUED FOR DEVELOPMENT PERMIT
240107	SITE FORMATION
240107	MAJOR SITE REVISIONS PER COMMENTS
240201	REVISED DEV SITE SURVEY (GRADIENT) UPDATE
240208	UPDATE SITE ECTIONS
240216	UPDATE SITE PLAN W/REV TRUCK PATH
240207	NO FIN TECH FORMATION AND REVISE SQUARE METRE USE CALCULATIONS & S.L. DETAILS USE 0.01

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 LADYSMITH, BC
 DEVELOPMENT PERMIT #SP22-14

TITLE:
 RENDERINGS

SCALE:	N.T.S.	DRAWING NO.:
DATE:	24/03/03	DP601

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KEY SITE PLAN
(FOR REFERENCE ONLY)

202007	DESIGN DEVELOPMENT
230213	DESIGN DEVELOPMENT
230816	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
230919	DEVELOPMENT PERMIT COORDINATION
230922	FINAL DESIGN
231007	DEVI PRADING PLAN
231001	ISSUED FOR DEVELOPMENT PERMIT
240107	SITE FORMATION
240107	MAJOR SITE MODIFICATIONS OR COMMENTS
240201	REVISED DEV SITE SURVEY (GRADCS) UPDATE
240208	UPDATE SITE SECTIONS
240216	UPDATE SITE PLAN REMOVE TRUCK PATH
240307	NO FIN TECH FORWARDS AND REVERSE SQUARE MEASURE SURVEY AND S.L.S.L. SQUARE USE ONLY

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 EMAIL: gs@gsgprojects.com



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 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #SP22-14

TITLE:
 RENDERINGS

SCALE:	N.T.S.	DRAWING NO.:	DP603
DATE:	24/03/03		

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KEY SITE PLAN
(FOR REFERENCE ONLY)

202007	DESIGN DEVELOPMENT
230213	DESIGN DEVELOPMENT
230816	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
230919	DEVELOPMENT PERMIT COORDINATION
230922	FINAL DESIGN
231007	DEVIY PRADING PLAN
231001	ISSUED FOR DEVELOPMENT PERMIT
240107	SITE FORMATION
240107	MAJOR SITE REVISIONS PER COMMENTS
240201	REVISED NEW SITE SURVEY (GRADU) UPDATE
240208	UPDATE SITE ELECTIONS
240216	UPDATE SITE PLAN REMOVE TRUCK PATH
240307	NO FINI TECH FORWARDS AND REVERSE SURVEY, INSURE BUS, CLARIFIED S.L.S.L. DETAILS, DR. DET.

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 LADYSMITH, BC
 DEVELOPMENT PERMIT #2P22-14

TITLE:
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SCALE:	N.T.S.	DRAWING NO.:	DP604
DATE:	24/03/03		

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KEY SITE PLAN
(FOR REFERENCE ONLY)

220207	DESIGN DEVELOPMENT
230213	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
230216	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
230219	DEVELOPMENT PERMIT COORDINATION
230202	FINAL DESIGN
231007	DEVT PHASING PLAN
231001	ISSUED FOR DEVELOPMENT PERMIT
240107	SITE FORMATION
240107	MAJOR SITE REVISIONS PER COMMENTS
240201	REVISED NEW SITE SURVEY (GRADUS) UPDATE
240208	UPDATE SITE ECTIONS
240216	UPDATE SITE PLAN W/REVISED TRUCK PATH
240307	NO FIN TECH FORMATION AND REVISIONS SCALE, INCLUDE SITE CLASS, DGS & S.E.T. DETAILS, USE, DIST.

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 DEVELOPMENT PERMIT #SP22-14

TITLE:
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SCALE:	N.T.S.	DRAWING NO.:
DATE:	24/03/03	DP605

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KEY SITE PLAN
(FOR REFERENCE ONLY)

202007	DESIGN DEVELOPMENT
230213	DESIGN DEVELOPMENT
230216	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
230218	DEVELOPMENT PERMIT COORDINATION
230222	FINAL DESIGN
231007	DEVIY PRASAD PLAN
231001	ISSUED FOR DEVELOPMENT PERMIT
240107	SITE FORMATION
240107	MAJOR SITE REVISIONS PER COMMENTS
240201	REVISED NEW SITE SURVEY (GRADU) UPDATE
240208	UPDATE SITE ELEVATIONS
240216	UPDATE SITE PLAN W/REVE TRAIL PATH
240307	NO FINI TECH FORWARDS AND REVEAL SCALAR, INSURE BUS CLARIFIED S.L.S.L. DETAILS, DR. DET.

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TITLE:
 RENDERINGS

SCALE:	N.T.S.	DRAWING NO.:	DP607
DATE:	24/03/23		

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KEY SITE PLAN
(FOR REFERENCE ONLY)

202007	DESIGN DEVELOPMENT
230213	DESIGN DEVELOPMENT
230816	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
230919	DEVELOPMENT PERMIT COORDINATION
230922	FINAL DESIGN
231007	DEVT FINANCING PLAN
231001	ISSUED FOR DEVELOPMENT PERMIT
240107	SITE FORMATION
240107	MAJOR SITE REVISIONS PER COMMENTS
240201	REVISED NEW SITE SURVEY (GRADU) UPDATE
240208	UPDATE SITE ELECTIONS
240216	UPDATE SITE PLAN W/REVISED TRUCK PATH
240307	NO FIN TECH FORWARDS AND REVERSE SQUARE MEASURE SURVEY (S.S. & S.L. SQUARE) ONE SET

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 LADYSMITH, BC
 DEVELOPMENT PERMIT #SP22-14

TITLE:
RENDERINGS

SCALE:	N.T.S.	DRAWING NO.:
DATE:	24/03/03	DP608

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ATTACHMENT D - Conceptual Renderings



200007	DESIGN DEVELOPMENT
230013	DESIGN DEVELOPMENT
230016	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
230018	DEVELOPMENT PERMIT COORDINATION
230020	FINAL DESIGN
231007	DEVI PRADING PLAN
231001	DESIGN FOR DEVELOPMENT PERMIT
240107	SITE FORMATION
240107	MAJOR SITE REVISIONS PER COMMENTS
240201	REVISED NEW SITE SURVEY (GRADUS) UPDATE
240208	UPDATE SITE ELECTIONS
240216	UPDATE SITE PLAN W/REV TRUCK PATH
240307	NO FINI TECH FORMATION AND REVISIONS, REVISIONS TO CLARIFY S.L.S.E.T. DETAILS, USE DET.

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 EMAIL: g3@g3projects.com



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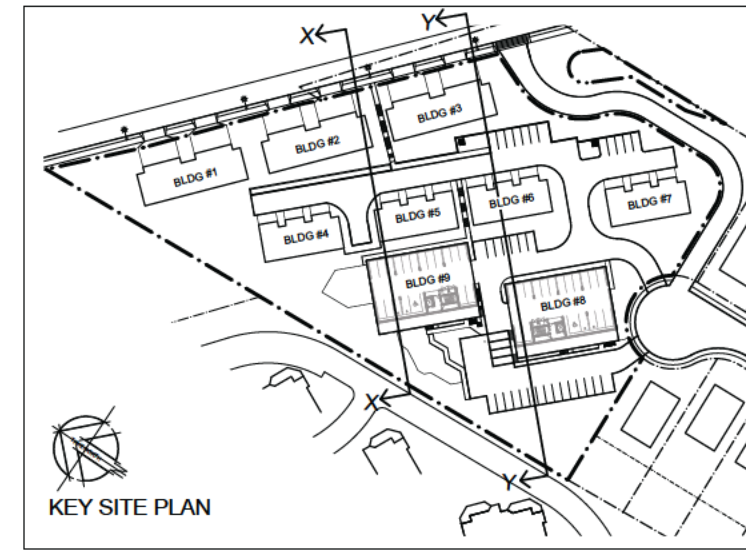
THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #2022-14

TITLE:
RENDERINGS

SCALE:	N.T.S.	DRAWING NO.:
DATE:	24/03/03	DP609

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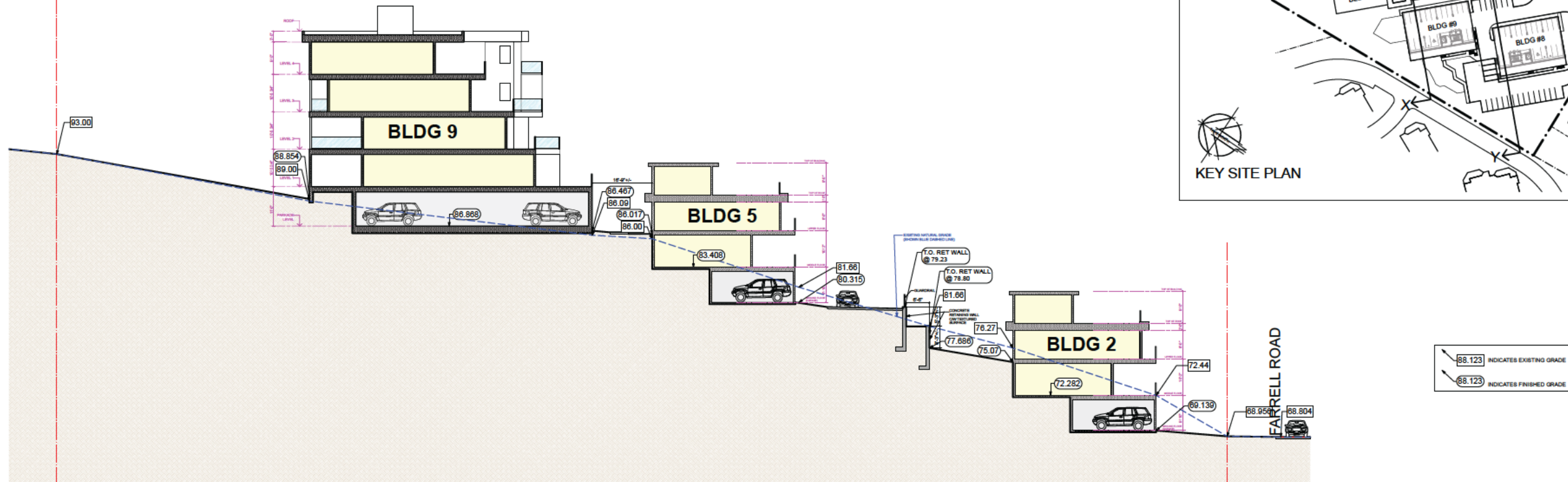
ATTACHMENT E - Site Sections



22/09/27	DESIGN DEVELOPMENT
23/02/13	DESIGN DEVELOPMENT
23/06/16	DESIGN DEVELOPMENT - PRE APPLICATION MEETING
23/09/16	DEVELOPMENT PERMIT COORDINATION
23/09/25	FINAL DESIGN
23/10/27	DEVT PHASING PLAN
23/12/01	ISSUED FOR DEVELOPMENT PERMIT
24/01/07	SITE FORMATION
24/01/27	MAJOR SITE REVISION PER DP COMMENTS
24/02/01	REVISED PER SITE SURVEY (GRADES) UPDATE
24/02/08	UPDATE SITE SECTIONS
24/02/16	UPDATE SITE PLAN W/FIRE TRUCK PATH
24/03/03	ADD FIRE TRUCK TURNAROUND AND REDUCE SLOPES, REVISED SITE PLAN BLDGS 4, 5, 6 & 7, DELETE ONE UNIT
24/03/14	REVISED DRIVEWAYS, RET WALLS, ROAD SLOPES
24/03/29	REVISED BLDG DRIVEWAYS 1, 2 & 3, REV'D GRADE HEIGHTS

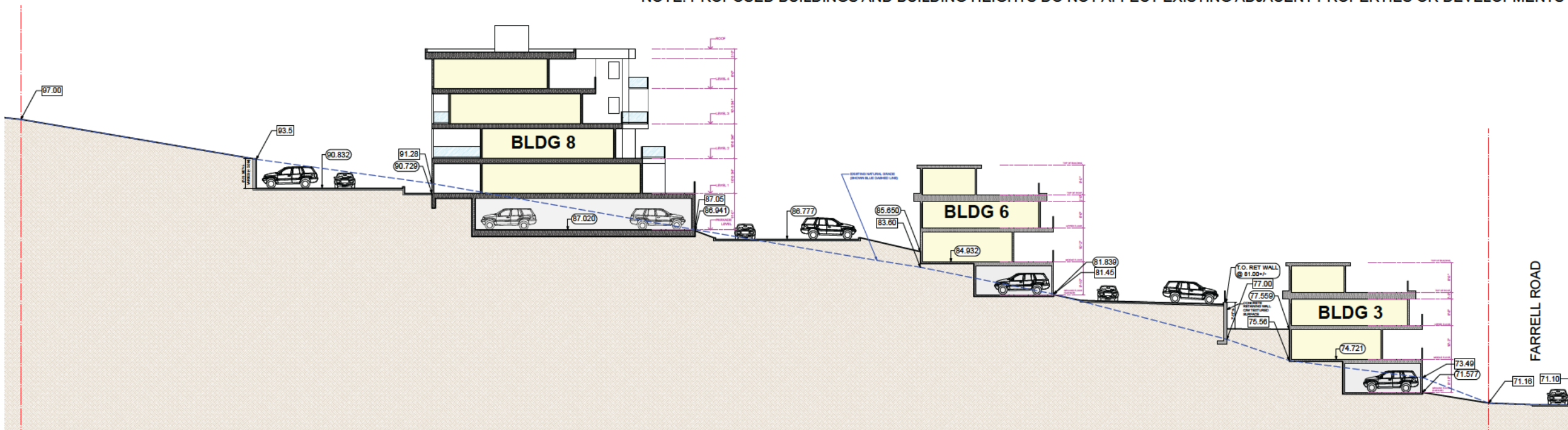
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ARCHITECT:
G3 ARCHITECTURE INC.
 #130 - 1959 - 152ND STREET
 SURREY, B.C.
 V4A 0C4
 TEL: 604-916-8582
 EMAIL: gus@g3projects.com



SITE SECTION "XX"

NOTE: PROPOSED BUILDINGS AND BUILDING HEIGHTS DO NOT AFFECT EXISTING ADJACENT PROPERTIES OR DEVELOPMENTS



SITE SECTION "YY"

**THE ARKELL
 RESIDENTIAL DEVELOPMENT
 670 FARRELL ROAD
 LADYSMITH, BC
 DEVELOPMENT PERMIT #DP22-14**

TITLE:
SITE SECTIONS

SCALE: 1/16" = 1'-0"	DRAWING NO.:
DATE: 24/03/29	DP150

ATTACHMENT F



G 3 A R C H I T E C T U R E I N C.

UNIT # 130-1959-152ND STREET, SURREY, B. C.
604-916-8582

V4A0C4
gus@g3projects.com

March 29, 2024

Attn: Andrew Wilson
Planner
Development Services Department
Town of Ladysmith
132C Roberts Street - Box 220
Ladysmith, BC V9G 1A2

DP# 22-14

**RE RATIONALE LETTER AND PROJECT SUMMARY (REVISED FEB 8/24)
24 UNIT TOWNHOMES AND 30 UNIT APARTMENT BUILDINGS AT
670 FARRELL ROAD, LADYSMITH, BC**

PROJECT SUMMARY AND DESIGN RATIONALE:

The 3.6 acre subject property is situated at the north end of an overall 12 acre single family and multi family subdivision. The property fronts Farrell Road to the north and extends southerly approx. 500ft up a steep slope.

At the top of the site (south end) there is a new road and cul-de-sac providing vehicular access down into the site. A new emergency access road has been developed along the east side of the property connecting Farrell Road up to the new cul-de-sac. There is a dedicated environmental setback along the west side of the subject property.

The existing property is undeveloped and is characterized by trees and rock outcrops. The surrounding properties contain a mix of single and duplex family oriented dwellings. The subject property slopes steeply downward approximately 23+/-m from south to north and a downward cross-slope (east to west).

PROPOSED DEVELOPMENT:

The proposal is to construct 3 x 4-plex townhouses, 4 x 3-plex townhouses = 24 multi-family townhouse units and 2 x 4-storey apartment buildings each containing 15 dwelling units = 30 apartment units for a total of 54 dwelling units on the subject site.

Each typical townhouse unit is approximately 1,800 sf, 3-storeys, 3 bedrooms and double wide garage. There are a variety of apartment units ranging from 1 bedroom units of 1,000+/-sf to 3 bedroom units of 1,650+/-sf.

The maximum floor area allowed at 0.66 FAR = 105,764sf and the total proposed net floor area = 82,928sf (FAR = 0.52). The total proposed site coverage is 26.8% which is less than the maximum allowable 33.0%.

SITE DESIGN:

Along Farrell Road there are 3 x 4-plex townhouse buildings with doubled up driveways (approx. 8% sloped) for each unit directly from Farrell Road. Due to the existing steep site topography vehicular access from Farrell Road to the remaining townhomes (at mid level) and the apartment buildings can only be achieved from the top of the site at the south end from the cul-de-sac. However there is a pedestrian connection from Farrell Road upto through the entire site accessing the entire development.

New retaining walls approx. no higher than 10ft (3.0M) are to be constructed behind the first row of townhouses along Farrell Road (at mid level) to accommodate a private road and to locate the remaining 12 townhouse units and outdoor amenity areas. The two 4-storey apartment buildings are at the top of the site, stepped into the slope and incorporate underground parking. All townhouse units and apartment units enjoy magnificent views and plenty of surrounding open space including very large outdoor balconies and roof top patios promoting green roofs and providing a pleasant



foreground for units at higher topographies looking over the buildings in front. The proposed building locations, massing and building heights do not compromise the views of any adjacent properties.

In accordance with Steep Slope Design practices, all the buildings are located in a way that minimizes the disturbance of natural features on the site and minimizes shadows, while optimizing views, daylight exposure and functionality.

Shared driveways directly off of Farrell Road give access to the at-grade garages of each unit. Each townhouse provides 2 indoor parking stalls, side by side in attached garages. The proposed total number of parking stalls meet the minimum number of "Off Street Parking" requirements per the Town of Ladysmith Zoning Bylaw 2014 - Part 8. Accessible/Handicap parking stalls, visitor parking stalls and bicycle spaces are provided throughout and pedestrian connections are provided from the front doors of each unit to the drive aisles. EV charging for both vehicles and bikes will be provided as required.

In addition to the large outdoor private balconies and outdoor roof top patios there are several developed communal outdoor amenity spaces serving both the townhouses and apartment buildings conveniently located in a safe location.

Garbage and recycling receptacles will be stored within the garages of each townhouse unit with centralized garbage and recycling for the apartment buildings. Long term bicycle parking is provided in each and every garage for each townhouse and one space for each dwelling unit in the Apartment buildings. Short term bicycle parking racks are provided throughout the site and as required.

BUILDING DESIGN:

Townhouses:

All townhouse buildings are 3 storey at the front and 1 storey at the rear due to the grade change and steep slope. The lowest level (garages) are only 1/2 the depth of the above floors to minimize the volume of excavation required and respecting the natural site topographic constraints. All the front facades are well articulated with the building massing and placement of front entries and garages clearly identifying individual units. The building forms are accentuated with large overhangs along with decorative timber columns. Each floor has an outdoor balcony (2 per unit) providing favorable street front surveillance and taking advantage of desirable views from that level and orientation. Additionally there are developed roof top patios providing ample outdoor space for lounging, views, herb gardens, hot tubs, etc...These roof top patios also provide a pleasant foreground for the units located behind and above as oppose to blank inanimate roofs. The varied use of durable exterior finishes strategically placed creates a warm and inviting residential facade accentuating the architectural character. The subtle color variation in exterior finishes from unit to unit provide a sense of individuality and artistic rhythm while preserving the design continuity. Windows and doors have been accentuated with trims and contrasting colors and noise reducing glazing will be used for windows facing Farrell Road.

Apartment Buildings:

Each and every apartment unit boasts a large outdoor balcony facing the uninterrupted ocean views. There is direct access to the "outdoor" common hallways, lobby and elevator from the underground parkade and from the outdoor parking areas. The "outdoor" exit stairwells, common hallways, etc... provide abundant natural light and minimize life cycle costs such as heating/cooling and maintenance. All the apartment units enjoy panoramic ocean views with maximum sized windows. The north orientation of the large glazed areas minimize solar gain. The underground parkades are only half below grade and allow for plenty of natural ventilation and secured parking. A ground floor oriented and secure bike storage locker room is provided to encourage the use of bikes in lieu of vehicle dependency. Centralized and enclosed communal garbage and recycling is provided at the parkade level. The use of dark red brick veneer, white horizontal lap siding and ornamental fascia details accentuate the horizontal massing while creating a proud traditional residential feel to the buildings, complementing the townhouses below. All entries to the individual apartment units are "recessed". A decorative cantilevered steel/glass canopy is located above the main floor entry to the building "lobby" area.

In general the proposed development incorporates several design concepts and initiatives intended to address the goals of reducing green house gas and promote energy and water conservation. The orientation of the buildings combined with the location of windows and floor plan layouts mitigate solar gain, promote the use of natural ventilation and natural daylight to the interior spaces, minimizes shadows and the disturbance of natural features on the site. The proposed building scale, character and exterior finishes complement the existing character of adjacent newer developments for continuity and to integrate the colors and textures of the natural surroundings. Furthermore the exterior finishes (prefinished aluminum siding, cementitious composite siding, local douglas fir posts, etc...) and colors have been chosen to minimize heat absorption and incorporate low-carbon and low maintenance properties.



The building is intended to be constructed with sustainable building materials, using conventional wood frame methodology, high performance windows and doors, optimization of the building envelope, efficient construction management/scheduling/delivery methods, and a concerted effort to the recycling of construction waste to reduce landfill use. Interior finishes include the use of low VOC materials, materials that are recycled, reused and renewable or contain recycled materials (where possible), energy efficient appliances and equipment, low consumption fixtures, etc... Heat pumps and accommodations (conduits) for future on site solar photovoltaic energy collection are to be explored for feasible integration.

Both interior and exterior lighting specifications shall be energy efficient, such as LED and incorporate timers, photovoltaic sensors and motion sensors where possible to provide lighting only when required. The proposed landscape lighting and general outdoor lighting will implement shields and fixture locations to reduce glare and light pollution. Electrical charging stations and/or electrical rough-in (40 amp) at designated parking areas shall be provided

The building is intended to be constructed with sustainable building materials, using conventional wood frame methodology, high performance windows and doors, optimization of the building envelope, efficient construction management/scheduling/delivery methods, and a concerted effort to the recycling of construction waste to reduce landfill use. Interior finishes include the use of low VOC materials, materials that are recycled, reused and renewable or contain recycled materials (where possible), energy efficient appliances and equipment, low consumption fixtures, etc... Heat pumps and accommodations (conduits) for future on site solar photovoltaic energy collection are to be explored for feasible integration. The apartment buildings will be constructed under Part 3 of the BC Building Code complete with sprinkler fire protection. The townhome buildings are to be constructed under Part 9 of the BC Building Code. The site plan, locations of buildings and exterior fenestration have incorporated the anticipated fire response times to the subject site as well as spatial separation and limiting distance constraints to conform the building code requirements.

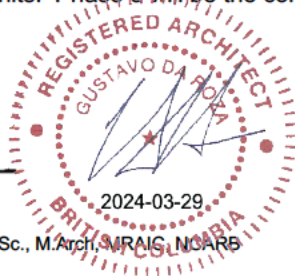
PROPOSED VARIANCES:

Variances between 0.58M up to 2.00M to the maximum allowable building height of 10.0m are proposed for the 3 out of the total 7 townhouse buildings at mid site due to the steep slope conditions and utilizing the lowest average grade calculations. In order to achieve the original subdivision proposed density for this site and combined with the topographical challenges and preservation efforts of natural site area "apartment" style multi-unit multi-storey buildings are required to provide an adequate number of dwelling units. As such, the proposed heights of the apartment buildings require upto 5.18M and 6.26M respectively above the maximum 10.0M height in order to achieve the density. The proposed building heights allow the overall project to accommodate the significant site slope/topography with the least amount of site impact, permit more than 50% of the required parking to be "under" the building, while preserving the functional layouts of residential units, safe vehicular circulation and project feasibility. Furthermore the proposed building heights do not impede any adjacent properties due to the site topographies of the adjacent properties and the developments there upon.

PHASED DEVELOPMENT:

The overall site preparation, land clearing and excavation is to be all undertaken this spring (2024) in advance of the bird nesting season. However, the overall project development and construction of the buildings themselves and roads are to be scheduled into FIVE (5) phases under 5 separate building permits. The first phase to include 8 townhouse units, Buildings #1 & #2 located along Farrell Road, followed by the remaining 4 townhouse units, Building #3 on Farrell Road completing Phase 2. Phase 3 will follow with construction of 6 townhouse units, Buildings #4 & #5, then Phase 4 with the remaining 6 townhouse units. Phase 5 will be the construction of the two apartment buildings #8 & #9 totaling 30 units.

End



Gustavo da Roza III B.Sc., M.Arch., MRAIC, NCARB
Architect – AIBC, MAA

DPA 4 - Multi-Unit Residential

The following tables provide a summary of the consistency of the proposal for 670 Farrell Road with the Development Permit Area 4 - Multi-Unit Residential and Development Permit Area 7 - Hazard Lands.

Table A. summarizes the analysis of the applicant's proposal against the DPA 4 guidelines.

Table 1: Summary of DPA 4 Multi-Unit Residential guidelines and staff comments.

DPA 4 Guidelines	Staff Comments
1. Building Design	
Scale/neighbourhood identity	<ul style="list-style-type: none"> The architectural theme and massing of the proposed buildings complement residential buildings in the neighbourhood.
Exterior design aesthetics, materials, and colours	<ul style="list-style-type: none"> Building facades are articulated by the use of varying materials, finishes, balconies and rooflines. Three exterior finish schemes are proposed for the townhouses which show a variation in stone accents and siding colour. Douglas fir timber accents create an aesthetically pleasing visual contrast for all townhouses.
Design aesthetic of neo-traditional, Pacific Northwest, or eco-responsive themes	<ul style="list-style-type: none"> The proposal uses some neo-traditional contemporary elements. The townhouses are accented with decorative timber columns.
Resembles single unit dwellings	<ul style="list-style-type: none"> The townhouse building facades are well articulated and individual units are clearly identified.
Variation in building designs	<ul style="list-style-type: none"> The townhouse building facades are articulated by varying colours and stonework on the facades. The proponent has elected to have both apartment buildings appear as one project utilizing the same design for overall design integrity and consistency.
2. Building Siting and Massing	
Height and massing variation and roofline treatments between buildings	<ul style="list-style-type: none"> The proponent has applied for a DVP to vary the height of townhouse Buildings 4, 6, and 7 and multi-family buildings 8 and 9. There is no variation in massing and height proposed. Buildings are uniform in design. The topography of the land and siting of buildings creates a variation in building height elevations.
Multi-storey buildings setback and terraced above 3 rd level	<ul style="list-style-type: none"> The 2nd and 4th storeys of the proposed apartment buildings are stepped back at the front.
Building design stepped with topography, nestled into hillside, with cuts and fills blending with the topography	<ul style="list-style-type: none"> Although there are retaining walls proposed, the site plan was designed to make use of the existing topography without significant cuts and fills. Townhouse buildings are 3 storey at the front and 1 storey at the rear due to the grade change and slope

Passive heating/cooling from landscaping	<ul style="list-style-type: none"> • Tree planting of deciduous trees is proposed on South elevations. The Landscape Plan is a condition of the DP.
3. Building Frontages	
Building frontages articulated and visually broken-up	<ul style="list-style-type: none"> • Townhouse buildings are articulated horizontally by steps and broken up into smaller, distinctive units through the use of varying colour schemes.
Facades modulated through design methods	<ul style="list-style-type: none"> • Building step-backs, changes in façade materials, and proposed window penetrations contribute to a modulated design.
Orientation towards street	<ul style="list-style-type: none"> • The proposed buildings are all oriented towards Farrell Road.
Streetscapes and building facades are not dominated by garage	<ul style="list-style-type: none"> • The proposed townhouses have front garages. Access from the rear is not practical given the topography of the property. Design articulation provides visual interest not dominated by the garages.
4. Roof Form	
Sloping roof forms encouraged.	<ul style="list-style-type: none"> • Flat roofs are proposed for all buildings so not to increase vertical massing of the stair towers. Slope roofs were considered, however, this would effectively increase the height variance required.
Roofline modulation to provide visual interest	<ul style="list-style-type: none"> • Rooftop patios on townhouses provide visual interest.
5. Windows & Doors	
Building entrances are clearly defined. Townhouses have separate, street-oriented entrances and recessed doorways	<ul style="list-style-type: none"> • Apartment building entrances are defined by special paving, landscaping, furnishing and lighting. • Townhouses have separate entrances with strong unit identity and recessed doorways.
Windows are architecturally compatible with building	<ul style="list-style-type: none"> • Windows are complimentary to the design of the buildings and are accentuated with trims and contrasting colours.
6. Signs, Canopies & Lighting	
Compatible signage	<ul style="list-style-type: none"> • Any signage will require a sign permit.
Canopies or other building projections should provide weather protection	<ul style="list-style-type: none"> • The main floor entrances for the apartment buildings are recessed and covered and do not require additional canopies or projections.
Adequate lighting to illuminate sidewalk areas adjacent to buildings	<ul style="list-style-type: none"> • Lighting is proposed in the landscape plan including pedestrian pole lights for paths and walkways and street pole lights for illuminating the laneways.
Light fixtures should be concealed	<ul style="list-style-type: none"> • Outdoor lighting fixtures are not concealed as per the guidelines, however the fixture design complements the overall project aesthetics.
Exterior lighting should follow dark sky principles	<ul style="list-style-type: none"> • Outdoor lighting will use shields and fixture locations to reduce glare and light pollution.
7. Liveability	
Visual privacy of interior living maintained	<ul style="list-style-type: none"> • Privacy has been considered in site plan and interior layouts.
Building and site design to mitigate noise impacts of roads and highways	<ul style="list-style-type: none"> • Windows in the townhouses facing Farrell Road are proposed to have noise reducing glazing.

Private outdoor living spaces should be provided for each dwelling unit	<ul style="list-style-type: none"> • All buildings are designed so each dwelling unit has an outdoor balcony. • Townhomes include a roof top patio to provide ample outdoor space. • Shared amenities for the property are proposed to include play equipment, fitness area, dining terrace, casual seating, and viewpoints with games tables.
8. Materials & Colours	
Building materials should be durable and high quality and cohesive with neighbourhood	<ul style="list-style-type: none"> • Apartment buildings design includes wood-look light grey hardiplank siding and red brick veneer. Grey doors provide variation to the colour palette. • Three townhome design schemes are proposed for the exterior finishes with a variation of colours of board and batten hardie panel, longboard wood-look aluminum siding, and cultured stone cladding around the garage doors. Douglas fir timber accents are used for all townhomes.
9. Mechanical, Electrical & Security Equipment	
Mechanical equipment should be strategically located and screened.	<ul style="list-style-type: none"> • Rooftop and at-grade equipment is screened with high quality durable materials. • Air vents and other exterior mechanical and electrical components is located away from adjacent buildings and outdoor amenities and screened from view.
10. Accessibility & Connectivity	
Building and sites should be designed to be accessible to all users.	<ul style="list-style-type: none"> • Townhomes have stairs and are less accessible. • Multi-unit buildings have accessible entrances at ground level and to the underground parking. Accessibility throughout all the common areas is provided and typical unit layouts including hallways, doors, bathrooms, and kitchens can accommodate elderly, children and people with disabilities.
Public walkways and entrances should provide a seamless, functional, and safe pedestrian network.	<ul style="list-style-type: none"> • Pedestrian connections run through the centre of the site and across the site to amenity areas. Walkways connect all buildings from Farrell Road to Stringer Way. • The emergency access road is blocked to traffic with the use of bollards and provides an additional pedestrian corridor. • A fully accessible pathway through the site is not provided due to topography constraints.
11. Vehicle & Bicycle Parking	
Vehicle parking should be located to the rear or side of buildings. Street fronting parking entries, carports, or garage doors are discouraged.	<ul style="list-style-type: none"> • Street fronting parking along Farrell Road is preferable for limiting excavation due to the topography and slope of the site. • Underground parking is provided for both apartment buildings.
Shared vehicle access and shared surface parking areas is encouraged.	<ul style="list-style-type: none"> • Shared visitor parking areas are provided for townhouse buildings 4, 5, 6, and 7 and for both apartment buildings.
Surface parking areas should delineate driving, parking, and pedestrian area though the use of	<ul style="list-style-type: none"> • Surface materials proposed include pavers for the sidewalk, asphalt road, and decorative permeable pavers for the visitor parking areas.

materials, colours, and patterns. Parking areas should be visually enhanced with landscaping.	<ul style="list-style-type: none"> Landscaping is provided around all parking areas.
Off-street parking spaces shall be equipped with one set of electric vehicle charging equipment per 20 spaces.	<ul style="list-style-type: none"> The proposal includes 10 electric vehicle charging stalls. 6 electric vehicle charging stalls are required for the 120 parking spaces as per the guidelines.
Bicycle parking should be provided for every building.	<ul style="list-style-type: none"> 14 short-term and 54 long-term bicycle spaces are proposed for the development as follows: <ul style="list-style-type: none"> 6 short-term and 24 long-term bicycle spaces are proposed for the townhouses. 4 short-term and 15 long-term bicycle spaces are proposed for each multi-family building Long-term bicycle parking spaces in multi-family buildings 8 and 9 are located close to elevators and access point. Visitor bicycle parking is proposed in highly visible locations.
Parking areas, driveways and walkways should have adequate areas for snow storage and drainage.	<ul style="list-style-type: none"> There is ample permeable surface space and stormwater drainage system adjacent to paved surfaces for snow storage. Lawn areas are available for snow storage.
12. Landscape	
Site planning should be guided by the preservation of existing trees, shrubs, groundcover, and other natural features.	<ul style="list-style-type: none"> No existing trees or shrubs are proposed to be retained. Conifers in the 10m tree buffer area along the western property boundary are to be removed as per wildlife covenant.
Disturbed natural areas should be restored to replicate the natural setting.	<ul style="list-style-type: none"> Disturbed areas are to be replanted with native trees, grass and wildflowers, and drought tolerant shrubs as per the Landscape Plan.
Front yard not used for access should be landscaped.	<ul style="list-style-type: none"> All front yard areas will be landscaped.
Only lawn should not be supported.	<ul style="list-style-type: none"> Proposed lawn areas are enhanced with landscaped ground cover, shrubs, and trees.
Retaining walls should be terraced or stepped and plant material incorporated into the wall design.	<ul style="list-style-type: none"> Stepped retaining walls incorporate landscaping between the steps.
Concrete retaining walls should include textured concrete on the face of the wall. Untreated large concrete and concrete block walls are not supported.	<ul style="list-style-type: none"> Proposed retaining walls include textured concrete as per the guidelines.
Design and materials used in fences and retaining walls should complement the building design and neighbourhood character.	<ul style="list-style-type: none"> Fencing and retaining wall design is complementary to the site design. High quality commercial grade aluminum fencing is proposed.
Surface parking and storage areas should be screened.	<ul style="list-style-type: none"> Surface parking and storage areas are screened with trees and shrubs.
Multi-purpose landscapes, preferably communal garden areas, should be integrated into the design.	<ul style="list-style-type: none"> Shade trees and multi-purpose seating including boulder walls and log seats are proposed in the landscape plan.

Landscaped roofs are encouraged.	<ul style="list-style-type: none"> • The landscape plan is comprehensive and limits the use of lawn areas.
Landscape groundcover plants should be used rather than extensive mulch or gravel. Use of artificial turf should not be supported.	<ul style="list-style-type: none"> • Bark or other combustible mulch is not proposed. • Artificial turf is not proposed as per the guidelines.
Use native, drought tolerant plants. Landscaping that does not require permanent irrigation is encouraged.	<ul style="list-style-type: none"> • The landscape plan incorporates native and drought tolerant plants. • Drip irrigation is proposed and will provide adequate watering during the establishment period.
Landscape buffers should be provided as per Zoning Bylaw.	<ul style="list-style-type: none"> • Landscape buffers conform to Zoning Bylaw
Adequate monetary security may be required to ensure that landscaping will be completed and established.	<ul style="list-style-type: none"> • DP 22-14 requires security of \$709,029 in five installments to ensure landscaping is carried out in accordance with the landscape plan. • A report from a Landscape Architect is required prior to release of the required landscape security.
All landscaping should conform to BC Landscape Standard	<ul style="list-style-type: none"> • A landscape plan for the site has been prepared by a Landscape Architect to BC Landscape Standards
Onsite monitoring should be undertaken by a landscape professional during landscape installation.	<ul style="list-style-type: none"> • Landscaping is proposed in 6 phases with a landscape bond to be collected prior to starting landscape work for each phase. Phase 6 works are to be completed prior to Phase 5 as specified in the Permit.
13. Energy Conservation and GHG Emission Reduction	
Greater floor to ceiling heights where possible	<ul style="list-style-type: none"> • Ceiling heights have not been increased as suggested by the guidelines.
Passive design strategies should be used wherever possible.	<ul style="list-style-type: none"> • Buildings are oriented to mitigate sun gain. • The location of windows and the floor plan layouts maximize natural light and natural ventilation. • Numerous trees are proposed in the landscape plan which will provide some shading to the proposed buildings.
Construction waste management plan should be implemented.	<ul style="list-style-type: none"> • A waste management plan has been prepared and is attached to DP 22-14.
14. Rain Water Management	
Integrated rain water management.	<ul style="list-style-type: none"> • A stormwater management plan was provided and is attached to DP 22-14. • According to the Stormwater Management memo, infiltration will be limited or not practical due to the challenging bedrock geology.
Rainwater catchment or green roofs are encouraged.	<ul style="list-style-type: none"> • The proponent is favorable to rainwater barrels, however no stormwater capture and re-use systems are proposed. • Townhouse roof patios provide outdoor space for potential vertical and rooftop gardening for residents.
Permeable surfaces should be used. Minimize asphalt and impervious concrete surfacing.	<ul style="list-style-type: none"> • Permeable surfaces are proposed in the parking areas and outdoor amenity spaces.
15. Water Conservation	

Water-saving irrigation systems are encouraged.	<ul style="list-style-type: none"> The landscape plan specifies an efficient design-build automatic irrigation system with moisture sensors and an automatic rain gauge.
Innovative wastewater management systems are encouraged.	<ul style="list-style-type: none"> No wastewater management systems are proposed.
16. Recycling, Organics & Solid Waste Management	
Waste and recycling storage should be inside buildings or integrated into site design.	<ul style="list-style-type: none"> Waste and recycling storage are located within the garages of each townhouse unit. Centralized garbage is provided for each apartment building located in an enclosed area in the underground parking.
Outdoor enclosures should be located away from public view and screened from overhead views.	<ul style="list-style-type: none"> N/A
17. Safety	
Visually well-defined areas with clear purpose or function and maximizes visibility, light, and openness.	<ul style="list-style-type: none"> Outdoor amenity areas are located in open and safe areas. Pathways have adequate lighting proposed.

DPA 7 - Hazard Lands

Table B. summarizes the analysis of the applicant's proposal against the DPA 7 guidelines.

Table 2: Summary of DPA 7 Hazard Lands guidelines and staff comments.

DPA 7 Guidelines	Staff Comments
A report from a professional engineer should provide technical requirements/mitigation measures for the development.	<ul style="list-style-type: none"> A geotechnical report from a professional engineer was provided and the proposed development is considered safe provided the recommendations in the report are followed.
Building sites should be designed to minimize the need for significant excavation or filling.	<ul style="list-style-type: none"> Buildings are located to minimize disturbance of natural features on the site. Site preparation of the proposed development will include cut and fill operations to facilitate level building and parking areas. Excavation is limited to the immediate development site, specifically for the townhouse buildings 1, 2, and 3, and for apartment buildings 8 and 9. The excavation is reasonable for the proposed development. Significant fill is required for Buildings 4,5,6, and 7 to provide vehicle access, visitor parking, and outdoor amenity area. The building sites are located in a way that minimizes disturbance of natural features on the site.
Height restrictions may be altered to minimize the need for excavation and fill.	<ul style="list-style-type: none"> The applicant has applied for a Development Variance Permit (DVP 24-02) to vary building heights for four of the nine buildings.

<p>No building or structure shall be constructed in areas subject to bank instability and site development to avoid areas subject to unstable slopes.</p>	<ul style="list-style-type: none"> • The location is feasible for construction and the geotechnical report states the gentle to moderately steep slopes can safely accommodate townhouse and multi-family residential buildings.
<p>Provide for disposal of surface run-off and storm water.</p>	<ul style="list-style-type: none"> • A stormwater management plan has been prepared by civil engineer and evaluated by the geotechnical engineer. The stormwater management plan will include detention systems that meet the project criteria.
<p>Avoid disturbance to the steep slope.</p>	<ul style="list-style-type: none"> • The location of buildings minimizes the disturbance of natural features on the site.
<p>Retaining walls to be terraced or stepped to avoid expansive wall surfaces.</p>	<ul style="list-style-type: none"> • The geotechnical report states landscape walls do not pose slope stability risk to the buildings because they are small enough that deep seated slope stability failures do not occur due to the wall. • A 3.23m retaining wall supporting an access lane is proposed along the northwest side of the property north of buildings four and five. A 2m step is proposed which meets the zoning and development permit guidelines. • Retaining wall construction shall be reviewed by the Geotechnical or Structural Engineer and is a condition of DP 22-14.
<p>Existing vegetation should be maintained to control erosion and protect banks. Cleared areas should be replanted to control erosion and protect banks. Security can be taken for landscaping.</p>	<ul style="list-style-type: none"> • As a condition of DP 22-14, best management practices to prevent erosion and sedimentation are to be followed during construction including revegetating exposed soil slopes where existing vegetation has been removed. • A landscape bond will be collected in five installments at the beginning each phase of the proposed five-phase development.
<p>Access improvements (stairways, paths) not to disturb slope or natural slope drainage.</p>	<ul style="list-style-type: none"> • Additional geotechnical comments stated that driveway accesses, pedestrian walkways/footpaths, and staircases will require minor manipulation of bedrock or very dense soils which will not affect the stability of the slope.
<p>Development permit may specify sequence and timing to reduce impacts to the environment and surrounding properties.</p>	<ul style="list-style-type: none"> • The proposed development is to be constructed in 5 phases as described in DP 22-14.



MINUTES

Community Planning Advisory Committee

Wednesday, May 1, 2024 at 7:00 p.m.
City Hall Council Chambers, 410 Espanade

PRESENT: Chair – Jason Robertson; Members - Keona Wiley, Tonya Soules, Julika Pape, John Scott; Alt. Council Liaison - Amanda Jacobson; Director of Development Services – Jake Belobaba; Planner – Julia Tippett; Recorder – Cassandra Taylor

ABSENT: Members - Jennifer Aker, Anthony Price; Council Liaison - Marsh Stevens

GUESTS: Applicant – Brody Phillips (file no. 3060-24-01)

Chair Jason Robertson called the meeting to order at 7:06pm.

Jason Robertson acknowledged with gratitude that Ladysmith is located on the unceded territories of the Stz'uminus First Nation.

1. ELECTION OF CHAIR

Jason Robertson declared that he will be stepping down as Chair. The Committee has deferred the election of a new Chair to the next meeting.

2. AGENDA APPROVAL

It was moved, seconded, and carried that the Agenda of May 1, 2024, Community Planning Advisory Committee meeting be approved.

3. ADOPTION OF MINUTES

It was moved, seconded, and carried that the Minutes of April 3, 2024, Community Planning Advisory Committee meeting be approved.

4. NEW BUSINESS

None

5. COUNCIL REFERRALS

a. Development Permit Application 3060-24-01 – 11 & 17 Warren Street

Applicant Brody Phillips introduced himself as the agent acting on behalf of the developer. Brody was available for questions during discussion. Brody noted that the developer is inclined to create affordable housing within the Town of Ladysmith.

Planner Julia Tippett provided an overview of the Development Permit application at 11 & 17 Warren Street for the purpose of obtaining feedback from CPAC on the application as it pertains to the DPA 2.

During discussion, Committee members raised questions regarding the exterior design of the proposal, snow storage and drainage, retention and planting of shade

trees, parking, and waste management. The applicant is prepared to take these questions back to the designer for further discussion.

Committee members felt that overall, the application aligns well with the look and feel of downtown and were particularly pleased with the articulation of the roof line. The Committee has no major concerns with the proposal.

It was moved, seconded, and carried that the Community Planning Advisory Committee recommends that Council approve Development Permit application 3060-24-01 for 11 & 17 Warren Street as presented subject to the following comments:

- **That Council consider the following pertaining to the DPA 2 – Downtown guidelines:**
 - **The form and character on the north-east lane side on the property;**
 - **Storm water management;**
 - **Retention of shade trees;**
 - **Snow storage; and**
 - **Onsite homeowner/tenant storage to help maintain the form and character of the downtown area.**

6. MONTHLY BRIEFING

- **3360-22-07 - District Proposal (Lot A Holland Creek) – going to council on May 7 for introduction.**
- **Director of Development Services Jake Belobaba provided a brief update on the Provincial Small Scale Multi-Unit Housing legislation. Staff have been working towards the June 30 deadline.**

7. NEXT MEETING – TBD

8. ADJOURNMENT

It was moved, seconded, and carried that the meeting be adjourned at 8:06 PM.

Chair (Jason Robertson)

RECEIVED:

Corporate Officer (S. Bouma)

Committee of the Whole Recommendations to Council May 21, 2024

At its May 14, 2024 meeting, the Committee of the Whole recommended:

1. That Council:
 - a) Give first, second and third readings to “Town of Ladysmith Animal Control Bylaw 2024, 2167”; and
 - b) Direct staff to bring forward consequential amendments to the “Town of Ladysmith Zoning Bylaw 2014, No. 1860”.

2. That Council direct staff to:
 - a) Amend “Town of Ladysmith Community Centre Facilities Fees and Charges Bylaw 2021, No. 2086,” as presented in Attachment A of the May 14, 2024, staff report;
 - b) Present the proposed FJCC admission changes to the Cowichan North Recreation Commission and Cowichan Valley Regional District for their respective endorsement;
 - c) Upon the Commission’s and Board’s endorsement, bring the amended “Community Centre Facilities Fees and Charges Bylaw 2021, No. 2086” to Town of Ladysmith Council for consideration; and
 - d) Amend the “Fees and Charges Department: Parks, Recreation and Culture Policy” definition of family from four to six children.



**COMMITTEE OF THE WHOLE MEETING
MINUTES**

Tuesday, May 14, 2024

6:13 P.M.

**Ladysmith Seniors Centre
630 2nd Avenue**

Council Members Present:

Councillor Tricia McKay, Chair
Mayor Aaron Stone
Councillor Ray Gourlay
Councillor Amanda Jacobson

Councillor Duck Paterson
Councillor Marsh Stevens
Councillor Jeff Virtanen

Staff Present:

Allison McCarrick
Erin Anderson
Chris Barfoot
Jake Belobaba
Ryan Bouma

Chris Geiger
Michele Gill
Maggie Robinson
Sue Bouma
Andrea Hainrich

1. CALL TO ORDER AND ACKNOWLEDGEMENT

Councillor McKay, Chair, called this Committee of the Whole meeting to order at 6:13 p.m., and acknowledged with gratitude that it was being held on the unceded territory of the Stz'uminus First Nation.

2. AGENDA APPROVAL

CW 2024-025

That the agenda for this May 14, 2024 Committee of the Whole meeting be approved.

Motion Carried

3. MINUTES

3.1 Minutes of the Committee of the Whole Meeting held March 12, 2024

CW 2024-026

That the minutes of the Committee of the Whole Meeting held March 12, 2024 be approved.

Motion Carried

4. PRESENTATION

4.1 Geographic Information System (GIS) DEMONSTRATION

Engineering staff, Michele Gill and Maggie Robinson, presented the new GIS mapping system, and demonstrated the functions of the internal and external tools to Council. They also discussed next steps, such as including street lighting, asbestos piping, garbage and plow routes, and active building permits in town.

Chair McKay thanked staff for their presentation and for bringing this technology forward.

5. DISCUSSION

5.1 Ladysmith Detachment Annual Policing Priorities for 2024 to 2025

Council discussed policing priorities for 2024-2025. Their list included the need for increased visibility in key areas of speeding, (school zones, playgrounds, parks, and main corridor roads), increased visibility around the overnight shelter, and greater consistency and longevity in leadership for the detachment.

The RCMP will return to a future Committee of the Whole or Council meeting to speak on these items and add insight to areas of concern from the RCMP point of view.

6. REPORTS

6.1 Building Inspector's Report to April 30, 2024

CW 2024-027

That the Committee receive the Building Inspector's Report for the months January to April 2024.

Motion Carried

6.2 Ladysmith Fire/Rescue Reports for March and April 2024

CW 2024-028

That the Committee receive the Ladysmith Fire/Rescue Reports for the months March and April 2024.

Motion Carried

6.3 Coastal Animal Control Services Reports for January to March 2024

CW 2024-029

That the Committee receive the Coastal Animal Control Services Reports for the months January to March 2024.

Motion Carried

6.4 2024 Q1 (Jan-Mar) Financial Update

CW 2024-030

That the Committee receive the staff report dated May 14, 2024, regarding the 2024 Q1 (Jan to March) Financial Update from the Director of Financial Services.

Motion Carried

6.5 2023-2026 Strategic Priorities Update

CW 2024-031

That the Committee receive the 2023-2026 Strategic Priorities Update dated May 14, 2024.

Motion Carried

6.6 Proposed Animal Control Bylaw to allow Backyard Poultry and Goats for Vegetation Management

CW 2024-032

That the Committee recommend that Council:

1. Give first, second and third readings to "Town of Ladysmith Animal Control Bylaw 2024, 2167".
2. Direct staff to bring forward consequential amendments to the "Town of Ladysmith Zoning Bylaw 2014, No. 1860".

CW 2024-033

AMENDMENT

That the Committee recommend that Bylaw 2167 be separated into two bylaws, with one addressing backyard poultry and the other addressing vegetation management.

Amendment Defeated

OPPOSED: Mayor Stone, Councillors Paterson, Stevens, and McKay.

CW 2024-032

The question was called on the main motion as presented.

Motion Carried

OPPOSED: Councillors Virtanen and Paterson

6.7 PRC Fees and Charges Proposed Changes and Amendments

CW 2024-034

That the Committee recommend that Council direct staff to:

1. Amend “Town of Ladysmith Community Centre Facilities Fees and Charges Bylaw 2021, No. 2086,” as presented in Attachment A of the May 14, 2024, staff report;
2. Present the proposed FJCC admission changes to the Cowichan North Recreation Commission and Cowichan Valley Regional District for their respective endorsement;
3. Upon the Commission’s and Board’s endorsement, bring the amended “Community Centre Facilities Fees and Charges Bylaw 2021, No. 2086” to Town of Ladysmith Council for consideration; and
4. Amend the “Fees and Charges Department: Parks, Recreation and Culture Policy” definition of family from four to six children.

Motion Carried

7. COUNCIL SUBMISSIONS

7.1 Council Meeting Venue Change

Council discussed the possibility of holding a Council meeting or Committee of the Whole meeting at Ladysmith Secondary School, to encourage civic engagement with youth in the Town. Councillor Paterson will meet with the principal and follow up with Council.

8. ADJOURNMENT

CW 2024-035

That this Committee of the Whole Meeting be adjourned at 7:27 p.m.

Motion Carried

CERTIFIED CORRECT

Chair (Councillor T. McKay)

Corporate Officer (S. Bouma)

BYLAW STATUS SHEET May 21, 2024

Bylaw #	Description	Status
2131	"Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw (No. 54) 2022, No. 2131" (10940 Westdowne Rd.). Changes zoning from Rural Residential (RU-1) to Manufactured Home Park (MHP-1).	First and second readings, December 20, 2022. Public Hearing and third reading December 19, 2023. MOTI approval received January 15, 2024. Awaiting covenant.
2133	"Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw (No. 56) 2023, No. 2133". Allows convenience store at 1132-1142 Rocky Creek Rd.	First and second readings, January 10, 2023. Public Hearing required. MOTI approval required. Waiting on applicant to submit Development Permit per Council Resolution
2161	"Official Community Plan Bylaw 2022, No. 2200, Amendment Bylaw 2023, No. 2161". To expand the mobile home park at 10940 Westdowne Road.	First and second readings, November 21, 2023. Second reading rescinded, second reading as amended, December 5, 2023. Public Hearing and third reading December 19, 2023. Awaiting covenant.
2166	"Town of Ladysmith City Hall Loan Authorization Bylaw 2024, No. 2166". To enable the Town to borrow up to \$13.5 million dollars over a term of 30 years to fund the construction of a new City Hall.	First, second and third readings, January 23, 2024. Inspector of Municipalities approval received February 26, 2024. Approval of the electors required through an Alternative Approval Process.
2170	"Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2024, No. 2170". (To reallocate units for a portion of the Holland Creek neighbourhood to create a smaller development footprint, eliminate the need for a crossing over Heart Creek and adjust triggers for infrastructure construction).	First and second readings, May 7, 2024. Public Hearing scheduled May 21, 2024.
2171	"Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2024, No. 2171". (To reallocate units for a portion of the Holland Creek neighbourhood to create a smaller development footprint, eliminate the need for a crossing over Heart Creek and adjust triggers for infrastructure construction).	First and second readings, May 7, 2024. Public Hearing scheduled May 21, 2024. Moti approval required.



STZ'UMINUS FIRST NATION

AGENDA FOR NATIONAL INDIGNEOUS PEOPLE'S DAY FRIDAY, JUNE 21, 2023 10 AM-3 PM

Transfer Beach Park & Amphitheatre – Ladysmith, BC

Location: Amphitheatre

10:00 am Welcome & Opening Remarks – Chief John Elliott & Mayor Aaron Stone

MC Event – Ray Harris & Chief John Elliott

10:10 am Hul'q'umi'num' Opening Prayer - by Beverly 'Buffi' David

10:15 am Stz'uminus Anthem – by Buffi David & Stz'uminus Community

10:20 am Giving Back to the Communities – Kwumut Lelum Foundation

10:30 am Special Guest Speaker(s)

11:00 am **Tzinqwa Song/Dance Group, Friendship Dance – Andrew Peters – Quw'utsun ***

11:40 am Music Entertainment for the Youth

Location: Main Field

12:00 pm Prayer for Food by Elder Buffi David

- BBQ by SFN Leadership & Town Council

- Lunch served at the Hut by SFN Administration Staff

- Elders served by SFN Health staff

1:00 pm Music Entertainment, Bouncy Castles, Interactive Games, Wellness Tent, Kids Activities, Stz'uminus Artist Vendor Tables, Information Booths.

3:00 pm Closing Remarks

3:30 pm Clean-up

ARTS – CULTURE – ENTERTAINMENT

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Itst uw'hw-nuts'ul-wum -- We are working as one