

**A REGULAR MEETING
OF THE TOWN OF LADYSMITH COUNCIL
AGENDA
5:30 P.M.**

**Tuesday, March 7, 2023
Ladysmith Seniors Centre
630 2nd Avenue**

Pages

1. CALL TO ORDER

Call to Order 5:30 p.m. in Open Session, in order to retire immediately into Closed Session.

Members of the public are welcome to attend all Open Meetings of Council, but may not attend Closed Meetings.

2. CLOSED SESSION

Recommendation

That, in accordance with section 90 of the *Community Charter*, Council retire into closed session order to consider items related to the following:

- (1)(e) the acquisition, disposition or expropriation of land or improvements;
- (1)(g) litigation or potential litigation affecting the municipality;
- (1)(i) the receipt of advice that is subject to solicitor-client privilege;
- (1)(k) negotiations and related discussions respecting the proposed provision of a municipal service
- (2)(b) the consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or between a provincial government and a third party

3. OPEN MEETING AND ACKNOWLEDGEMENT (7:00 P.M.)

The Town of Ladysmith acknowledges with gratitude that this meeting takes place on the traditional, unceded territory of the Stz'uminus First Nation.

Members of the public may attend meetings in person at the Ladysmith Seniors Centre or view the livestream on YouTube:

<https://www.youtube.com/channel/UCH3qHAExLiW8YrSuJk5R3uA/featured>.

4. AGENDA APPROVAL

Recommendation

That Council approve the agenda for this Regular Meeting of Council for March 7, 2023.

5. RISE AND REPORT- Items from Closed Session

6. MINUTES

6.1 Minutes of the Public Hearing and Regular Meeting of Council held February 21, 2023

9

Recommendation

That Council approve the minutes of the Public Hearing and Regular Meeting of Council held February 21, 2023.

7. DELEGATIONS

7.1 Broombusters

20

Joanne Sales and Nikki Toposeus, Broombusters Invasive Plant Society

8. PROCLAMATIONS

8.1 World Down Syndrome Day - March 21, 2023

42

Mayor Stone has proclaimed Tuesday, March 21, 2023 as World Down Syndrome Day in the Town of Ladysmith.

8.2 Epilepsy Awareness Purple Day - March 26, 2023

43

Mayor Stone has proclaimed Sunday, March 26, 2023 as Epilepsy Awareness Day in the Town of Ladysmith.

In support of Purple Day, the Town will also illuminate its available themed lighting locations with purple lights.

9. DEVELOPMENT APPLICATIONS

9.1 Rezoning Application for Multi-Family Development at 11 & 17 Warren Street

44

Recommendation

That Council:

1. Give first and second readings to “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2124”;
2. Direct staff to proceed with scheduling and notification for a public hearing for Bylaw No. 2124 in accordance with section 464 of the *Local Government Act*;
3. Require that the property owner, prior to the adoption of Bylaw No. 2124, provide \$12,000, to be deposited into the Town Community Amenity Fund.
4. Direct staff to forward Bylaw No. 2124 to the Ministry of Transportation and Infrastructure for approval following third reading, in accordance with section 52 of the *Transportation Act*.

9.2 Official Community Plan & Zoning Bylaw Amendment Application for 1141 Cloke Road (Coach House)

69

Recommendation

That Council:

1. Having considered section 475 of the *Local Government Act*, and in particular the matters set out in subsections (2)(a) and (b), resolve that:
 - a. the Stz’uminus First Nation and the School District 68 Board are the only entities that are appropriate to consult in connection with “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2134”;
 - b. consultation should be early but need not be ongoing;
 - c. the consultation process described in the staff report dated March 7, 2023 is sufficient in respect to the proposed Official Community Plan amendment; and
 - d. staff be directed to refer Bylaw No. 2134 to the Stz’uminus First Nation and School District 68 Board as set out in Resolution 1(a) for consultation in the manner described in the March 7, 2023 staff report to Council;
2. Give first reading to “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2134”;
3. Consider Bylaw No. 2134 in conjunction with the Financial Plan, Liquid Waste Management Plan, and the Cowichan Valley

Regional District Solid Waste Management Plan, pursuant to sections 473 (2.1) and 477 (3) of the *Local Government Act*;

4. Give second reading to “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2134”;
5. Consider “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2134” in conjunction with the Town’s “Housing Needs Report” and the housing information on which the report is based, pursuant to section 473 (2.1) of the *Local Government Act*;
6. Direct staff to refer Bylaw No. 2134 to School District 68 pursuant to section 476 of the *Local Government Act*;
7. Give first and second readings to “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2135”;
8. Direct staff to schedule and provide notice for a public hearing for Bylaw No. 2134 and Bylaw No. 2135 in accordance with section 466 of the *Local Government Act*; and
9. Direct staff to refer Bylaw No. 2135 to the Ministry of Transportation and Infrastructure following third reading, pursuant to section 52 of the *Transportation Act*.

10. COMMITTEE MINUTES

10.1 Parks, Recreation & Culture Advisory Committee - February 15, 2023

91

Recommendation

That Council receive the minutes of the Parks, Recreation & Culture Advisory Committee meeting held February 15, 2023.

11. REPORTS

11.1 Adjustment to Water Billing Account – 2022, Q4

93

Recommendation

That Council provide a bill adjustment in the amount of \$3,014.35 to billing Account No. 000-0518000-000 due to a water leak.

11.2 Stocking Dam Emergency Level 1 Status

95

Recommendation

That Council:

1. Receive the staff report, BC Dam Safety letter, and Ecora Engineering and Resource Group Ltd. Report regarding the Stocking Dam Emergency Level 1 status;
2. Direct staff to include in the 2023-2027 Financial Plan funds in the amount of \$100,000 to execute the Ecora recommendations, with the additional funding to come from a cost-share with the CVRD for \$50,000, carryforward funding of \$21,696 and an additional \$28,304 to come from the water reserves; and
3. Waive the Town's Purchasing Policy and direct award construction of all works associated with the Ecora repair work to David Stalker Excavating Ltd.

11.3 2023 Community Public Art Banner Selection

118

Recommendation

That Council:

1. Approve the recommendations of the Public Art Task Group for the 2023 Community Public Art Banner Program to produce banners based on the following submissions:
 - a. Come Sing with Me – Karen Tchamourian
 - b. Come Play with Me – Karen Tchamourian
2. Direct staff to proceed with ordering and installing the banners as previously approved by Council.

11.4 Accessible BC Act – Consideration of a Joint Accessibility Committee

123

Recommendation

That Council:

1. Direct staff to continue discussions with the Municipality of North Cowichan, the Cowichan Valley Regional District, the City of Duncan, and the Town of Lake Cowichan regarding the feasibility of a joint Accessibility Committee; and
2. Direct staff to report back in April with a recommendation to either move forward with a joint Accessibility Committee with partnering jurisdictions, or to establish the Town's own Committee.

12. BYLAWS

12.1 Bylaws for Introduction

12.1.1 Official Community Plan

127

Recommendation

That Council:

1. Having considered s. 475 of the *Local Government Act*, and in particular the matters set out in subsections (2)(a) and (b), resolve that, with the exception of the referral required under section 477(3)(b) of the *Local Government Act*, no further consultation is necessary with:
 - a. the board Cowichan Valley Regional District;
 - b. the board of the Regional District of Nanaimo;
 - c. the council of the District of North Cowichan;
 - d. First Nations;
 - e. School District 68; and
 - f. the Provincial and federal governments and their agencies, in connection with “Official Community Plan Bylaw 2022, No. 2200 and the consultation process described in the staff report to Council dated March 7, 2023 has been sufficient in respect to the proposed Official Community Plan.
2. Give second reading, as amended, to “Official Community Plan Bylaw 2022, No. 2200”;
3. Consider Bylaw No. 2200 in conjunction with the Financial Plan, Housing Needs Report, Liquid Waste Management Plan, and the Cowichan Valley Regional District Solid Waste Management Plan, pursuant to sections 473(2.1) and 477(3) of the *Local Government Act*;
4. Refer Bylaw No. 2200 to the Agricultural Land Commission, pursuant to section 477(3)(b) of the *Local Government Act*;
5. Direct staff to schedule a public hearing for Bylaw 2200.

12.2 Bylaws for Adoption

- 12.2.1 “Town of Ladysmith Zoning Bylaw 2014, No. 1860,Amendment Bylaw (No. 53) 2022, No. 2129”** 207

Recommendation

That Council adopt “Town of Ladysmith Zoning Bylaw 2014, No. 1860,Amendment Bylaw (No. 53) 2022, No. 2129”.

- 12.2.2 “Town of LadysmithZoning Bylaw 2014, No. 1860, Amendment Bylaw (No. 55) 2022, No. 2132”** 211

Recommendation

That Council adopt “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw (No. 55) 2022, No. 2132”.

- 12.2.3 “Noise Suppression Bylaw 2003, No. 1478, Amendment Bylaw 2023, No. 2136”** 213

Recommendation

That Council adopt “Noise Suppression Bylaw 2003, No. 1478, Amendment Bylaw 2023, No. 2136”.

12.3 Bylaw Status Sheet 214

13. NEW BUSINESS

- 13.1 UBCM Housing Summit - April 4-5, 2023** 216

Councillor McKay has requested that Council discuss her invitation from the Union of British Columbia Municipalities to attend the upcoming housing summit, Housing BC Together, at the Sheraton Vancouver Wall Center on April 4-5, 2023.

14. QUESTION PERIOD

- A maximum of 15 minutes is allotted for questions.
- Persons wishing to address Council during "Question Period" must be Town of Ladysmith residents, non-resident property owners, or operators of a business.
- Individuals must state their name and address for identification purposes.
- Questions put forth must be on topics which are not normally dealt with by Town staff as a matter of routine.

- Questions must be brief and to the point.
- Questions shall be addressed through the Chair and answers given likewise. Debates with or by individual Council members or staff members are not allowed.
- No commitments shall be made by the Chair in replying to a question. Matters which may require action of the Council shall be referred to a future meeting of the Council.

15. ADJOURNMENT



MINUTES OF A PUBLIC HEARING AND REGULAR MEETING OF COUNCIL

Tuesday, February 21, 2023

6:00 P.M.

Ladysmith Seniors Centre
630 2nd Avenue

Council Members Present:

Mayor Aaron Stone
Councillor Ray Gourlay
Councillor Amanda Jacobson
Councillor Tricia McKay

Councillor Duck Paterson
Councillor Marsh Stevens
Councillor Jeff Virtanen

Staff Present:

Allison McCarrick
Erin Anderson
Chris Barfoot
Jake Belobaba

Ryan Bouma
Chris Geiger
Matt O'Halloran
Sue Bouma

1. CALL TO ORDER AND ACKNOWLEDGEMENT

Mayor Stone called this Public Hearing and Regular Meeting of Council to order at 6:00 p.m., recognizing with gratitude that it was taking place on the traditional, unceded territory of the Stz'uminus First Nation.

2. AGENDA APPROVAL

CS 2023-029

That Council approve the agenda for this Public Hearing and Regular Meeting of Council for February 21, 2023 as amended to remove recommendation 3 of Item 12.1 "Regional Approach to Emergency Management Grants" and replace it with the following recommendation regarding an Emergency Operations Centre:

"That Council authorize the Cowichan Valley Regional District to apply for, receive, and manage the UBCM Community Emergency Preparedness Fund Emergency Operations Centre 2023 grant funding up to \$150,000 on behalf of the Town of Ladysmith."

Motion Carried

3. PUBLIC HEARING

3.1 “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2099” and “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2100”

Members of the public attending: 10

3.1.1 Outline of Public Hearing Process - Mayor Stone

Mayor Stone outlined the Public Hearing process and stated that the public would have the opportunity to provide their comments to Council about Bylaw Nos. 2099 and 2100.

He advised that staff would introduce the proposed bylaw amendments, followed by public submissions. He reminded the public that the content of submissions would be made public and form a part of the public record for the Hearing, and that the function of Council at a Public Hearing is to listen rather than to debate the merits of the proposed bylaws, although they may ask clarifying questions. He advised that once everyone had an opportunity to be heard, the Public Hearing would be closed and no further submissions or comments could be accepted by members of Council.

3.1.2 Introduction of Bylaws and Statutory Requirements - Director, Development Services

Jake Belobaba, Director of Development Services, introduced “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2099” and “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2100” as the subjects of the Public Hearing.

Mr. Belobaba advised that, if approved, Bylaw No. 2099 would amend the Zoning Bylaw by:

- removing the minimum finished floor area restriction for dwelling units from all zones where this regulation exists; and
- removing the minimum finished floor area restriction for caretaker dwellings.

Mr. Belobaba noted that, if approved, Bylaw No. 2100 would amend the Zoning Bylaw by:

- Revising regulations pertaining to coach houses, including:
 - Removing the requirement that a coach house dwelling be fully contained on the second storey where it is within a two-storey building.
 - Adding an exemption from parcel coverage for garages where a coach house 5m tall or less is located on the property.
 - Removing the requirement that coach houses comply with accessory building regulations, except for the accessory building number calculation (see point below).
 - Clarifying how the number of accessory buildings on a property is calculated when a two-storey coach house is located on the property.
 - Removing references to coach houses from regulations pertaining to accessory buildings.
 - Changing how gross floor area is calculated in a coach house.
 - Reducing the minimum parcel area required to permit a coach house from 660m² to 550m² where a parcel abuts a lane; from 668m² to 550m² where a parcel is on a corner; and from 780m² to 668m² for all other parcels.
 - Clarifying that a coach house is a permitted accessory to a live/work unit or a single unit dwelling.
 - Removing the minimum roof pitch regulation for a two-storey coach house.
 - Allowing coach houses to be located in a side yard.
 - Requiring a 2m interior side yard setback for coach houses taller than 5m.
- Revising the secondary suite regulations, including:
 - Allowing secondary suites to be larger than 40% of the single unit dwelling gross floor area.
 - Removing size restrictions for secondary suites from the R-2, R-2-A and R-2-LW zones; and
- Revising section headings for clarity.

Mr. Belobaba also confirmed the Public Hearing notification and engagement process. Notice of this Public Hearing was published in the Ladysmith Chronicle on February 16, 2023 and posted on the Town's website and community notice boards.

A copy of the Notice, the proposed bylaws, and background information were made available at the front counters of City Hall and Development Services and were available on the Town's website for the Notice period. Staff in the Development Services office were available to respond to questions prior to the Public Hearing. Mr. Belobaba noted that as of noon on Tuesday, February 21 no submissions related to the proposed bylaws had been received.

3.1.3 Submissions

3.1.4 Call for Submissions to Council (Three Times) - Mayor Stone

Mayor Stone called for submissions from the public.

Tim Kehler, 525 Gatacre spoke against the bylaw amendments, noting that some property owners had invested at a premium in larger lots in order to build carriage houses under the current zoning. He expressed opposition to the possibility that a carriage house could be built between two homes and shared his opinion that the amendments created confusion. Mr. Kehler asked for the Town's rationale for considering the amendments to the Zoning Bylaw.

Mayor Stone called for submissions a second time.

Mayor Stone called a third and final time for submissions to Council.

No one wished to speak regarding "Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2099" and "Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2100".

Mayor Stone asked the Corporate Officer, M. O'Halloran, if any submissions had been received during the Hearing. The Corporate Officer advised that no submissions had been received.

3.1.5 Declaration that the Public Hearing for Bylaw Nos. 2099 and 2100 is Closed - Mayor Stone

Hearing no comments and receiving no further submissions, Mayor Stone declared the Public Hearing for Bylaw Nos. 2099 and 2100 closed at 6:16 p.m. and stated that no further submissions or comments from the public or interested persons could be accepted by members of Council.

4. BYLAWS - OFFICIAL COMMUNITY PLANNING AND ZONING (SUBJECT OF PUBLIC HEARING)

4.1 "Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2099"

CS 2023-030

That Council give third reading to "Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2099".

Motion Carried

4.2 "Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2100"

CS 2023-031

That Council give third reading to "Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2100".

Motion Carried

5. RISE AND REPORT- Items from Closed Session

The following items from the Closed Meeting of Council held December 20, 2022 were reported:

- **CE 2022-082**

That Council:

2. Confirm that the Artist Studio building project will proceed as presented to tender the construction of the project and direct staff to bring a detailed report to a future meeting of Council noting the increased costs and potential additional funding sources for the construction of the Artist Studio building and landscaping.

- **CE 2022-083**

That Council direct staff to investigate options to retain sufficient track to enable movement of rolling stock within the Ladysmith Arts and Heritage Hub, while accommodating development of the “Live, Work and Learn” district of the Waterfront Area Plan.

- **CE 2022-084**

That Council rise and report at a future meeting of Council on the following:

- Resolution CE 2022-082, recommendation number 2; and
- Resolution CE 2022-083.

6. MINUTES

6.1 Minutes of the Regular Meeting of Council held February 7, 2023

CS 2023-032

That Council approve the minutes of the Regular Meeting of Council held February 7, 2023.

Motion Carried

7. DEVELOPMENT APPLICATIONS

7.1 OCP and Zoning Amendment Application for 440 1st Avenue (Islander Hotel)

Staff and the applicant responded to Council's questions.

CS 2023-033

That Council refer file 3360-22-06, the Official Community Plan and Zoning Amendment Application for the Islander Hotel at 440 1st Avenue, back to staff and the applicant for further review as specified by Council.

CS 2023-034

AMENDMENT

That Council amend resolution CS 2023-033 in order to include the following specific considerations for staff and the applicant to review:

- public passageway through the building
- redesign of the roof
- community amenity contributions

Amendment Defeated

OPPOSED: Councillors Gourlay, Jacobson, McKay and Paterson

CS 2023-033

The question was called on the main motion as presented.

Motion Defeated

OPPOSED: Councillors Gourlay, Jacobson, McKay and Paterson

CS 2023-035

That Council:

1. Having considered section 475 of the *Local Government Act*, and in particular the matters set out in subsections (2)(a) and (b), resolve that:
 - a. the Stz'uminus First Nation and the School District 68 Board are the only entities that are appropriate to consult in connection with "Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2137";
 - b. consultation should be early but need not be ongoing;
 - c. the consultation process described in the staff report to Council dated February 21, 2023, is sufficient in respect to the proposed Official Community Plan amendment; and
 - d. staff be directed to refer "Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2137" to the Stz'uminus First Nation and the School District 68 Board as set out in resolution 1 for consultation in the manner described in the February 21, 2023, staff report to Council;
2. Give first and second readings to "Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2137";
3. Consider "Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2137" in conjunction with the Town's Financial Plan, the Town's Liquid Waste Management Plan, and the Cowichan Valley Regional District Solid Waste Management Plan, pursuant to section 477(3) of the *Local Government Act*;
4. Consider "Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2137" in conjunction with the Town's "Housing Needs Report" and the housing information on which the report is based, pursuant to section 473(2.1) of the *Local Government Act*;
5. Direct staff to refer "Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2137" to School District 68 pursuant to section 476 of the *Local Government Act*;

6. Give first and second readings to “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2138”;

7. Direct staff to refer “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2138” to the Ministry of Transportation and Infrastructure, after third reading of the bylaw, pursuant to section 52 of the *Transportation Act*;

8. Require that, as a condition of approval of “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2137” and “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2138” the applicant be required to:

- a. enter a Heritage Revitalization Agreement, prepared by the Town’s lawyer at the applicant’s cost, to preserve and rehabilitate the Island Hotel’s (440 1st Ave.) heritage character; and
- b. provide to the Town a \$10,000 community amenity contribution, to be deposited into the Town’s Community Amenity Fund. following third reading and prior to adoption of the bylaws; and

9. Direct staff to proceed with scheduling and notification of a public hearing for Bylaw No. 2137 and Bylaw No. 2138 pursuant to section 464(1) of the *Local Government Act*.

Motion Carried

OPPOSED: Mayor Stone and Councillors Stevens and Virtanen

CS 2023-036

By unanimous consent Council recessed at 7:56 p.m. with the intention to reconvene at 8:05 p.m.

Council reconvened the meeting at 8:05 p.m.

8. DELEGATIONS

8.1 Economic Development Cowichan - Update

Barry O'Riordan, Manager of Economic Development Cowichan (EDC) provided Council with an update on the state of the Cowichan economy, noting that the area, which has an aging demographic, is experiencing housing challenges and elevated job vacancy rates. In response to these challenges, the EDC initiated the Cowichan Workforce Housing Strategy. The EDC plans to have a draft of this strategy by late spring or early summer 2023.

Mr. O'Riordan outlined other aspects of the EDC's strategic focus, including Business Retention, Attraction and Expansion, Business Sector Development, and Community Strengthening.

Mr. O'Riordan responded to Council's questions. Council thanked him for his presentation and the important work of the EDC.

9. COMMITTEE MINUTES

9.1 Poverty Reduction Task Group - January 10, 2023

CS 2023-037

That Council receive the minutes of the Poverty Reduction Task Group meeting held January 10, 2023.

Motion Carried

9.2 Public Art Task Group - February 7, 2023

CS 2023-038

That Council receive the minutes of the Public Art Task Group meeting held February 7, 2023.

Motion Carried

10. REPORTS

10.1 Lot 108 Phase 1 Project Tender

CS 2023-039

That Council direct staff to:

1. Include in the 2023-2027 Financial Plan additional funds in the amount of \$180,000 for the Lot 108 Phase 1 project, with funds coming from prior year surplus and the COVID Safe-Restart reserve; and

2. Award Tender 2022-PRC-05 to Stone Pacific Contracting for the full tender amount of \$539,832.51.

Motion Carried

Mayor Stone declared a conflict of interest related to Agenda Item 10.2. as he is the Chair for the CVRD and vacated the Chair and the meeting at 8:35 p.m.

Deputy Mayor Jacobson assumed the Chair.

10.2 Asset Disposal – 1997 Superior Ladder Truck

CS 2023-040

That Council:

1. Waive the Purchasing Policy and permit the sale of the 1997 Superior Ladder Truck (Ladder 1) to be granted to the Cowichan Valley Regional District for \$30,000 plus taxes; and
2. Direct staff to include a one-time principal payment of \$30,000 for the new Aerial Truck in the 2023-2027 Financial Plan, with the funds to come from the sale of Ladder 1.

Motion Carried

Mayor Stone returned to the meeting at 8:38 p.m. and resumed the Chair.

11. BYLAWS

11.1 Bylaws for Introduction

11.1.1 “Noise Suppression Bylaw 2003, No. 1478, Amendment Bylaw 2023, No. 2136”

CS 2023-041

That Council give first, second and third readings to “Noise Suppression Bylaw 2003, No. 1478, Amendment Bylaw 2023, No. 2136”.

Motion Carried

11.2 Bylaw Status Sheet

12. NEW BUSINESS

12.1 Regional Approach to Emergency Management Grants

CS 2023-042

That Council authorize the Cowichan Valley Regional District, on behalf of the Town of Ladysmith, to apply for, receive, and manage:

1. The UBCM Community Emergency Preparedness Fund
Emergency Support Services 2023 grant funding up to \$150,000;
2. The 2023 UBCM Community Emergency Preparedness Fund for
Public Notification and Evacuation Route Planning grant funding up
to \$150,000; and
3. The UBCM Community Emergency Preparedness Fund
Emergency Operations Centre 2023 grant funding up to \$150,000.

Motion Carried

13. QUESTION PERIOD

A member of the public enquired about a previous bylaw that allowed businesses to pay a set sum to avoid committing to parking spaces. He also enquired about the lifespan of the artificial turf at Forrest Field, the current situation with the water lot lease at the Ladysmith Maritime Society marina, and whether a parking study had ever been completed on the Market Square laneway.

14. ADJOURNMENT

CS 2023-043

That this Regular Meeting of Council be adjourned at 8:46 p.m.

Motion Carried

CERTIFIED CORRECT

Mayor (A. Stone)

Corporate Officer (M. O'Halloran)



BROOMBUSTERS INVASIVE PLANT SOCIETY

The Town of Qualicum Beach's Resolution to AVICC calls for action to stop the spread of Scotch broom.

RESOLUTION:

WHEREAS CLIMATE CHANGE BRINGS US LONGER PERIODS OF DROUGHT AND HOTTER TEMPERATURES IN WHICH SCOTCH BROOM, A HIGHLY FLAMMABLE INVASIVE SPECIES WITH HIGH OIL CONTENT AND DRY BRANCHES, WILL THRIVE AND ACT AS A VOLATILE FLASH FUEL, INCREASING THE RISK OF WILDFIRES AND SPECIFICALLY URBAN INTERFACE FIRES; AND

WHEREAS SCOTCH BROOM SPREADS DENSELY AND RAPIDLY, INHIBITING FORESTS REGROWTH, AND NEGATIVELY IMPACTING AGRICULTURAL PRODUCTION AND NATIVE SPECIES, WITH A 2021 STUDY FOR THE INVASIVE SPECIES COUNCIL OF BC (ISCBC) DESIGNATING SCOTCH BROOM AS THE TOP WORSE OFFENDER - THE INVASIVE SPECIES DOING THE GREATEST HARM TO SPECIES AT RISK IN BC;

THEREFORE, BE IT RESOLVED, THAT AVICC AND UBCM WORK WITH THE PROVINCE TO ESTABLISH AND IMPLEMENT ACTIONABLE STEPS TO CONTROL THE AGGRESSIVE SPREAD OF SCOTCH BROOM ALL ACROSS BC, INCLUDING IMPLEMENTING BROOM-FREE FIRE BREAKS ALONG LONG STRETCHES OF BROOM; AND

FURTHER BE IT RESOLVED, THAT LOCAL GOVERNMENTS ARE ENCOURAGED TO USE BYLAWS AND POLICIES TO CONTROL AND MANAGE SCOTCH BROOM NEAR AND WITHIN URBAN BOUNDARIES.

Scotch Broom has been getting off
Scot-free for 170 years on Vancouver Island.



New Zealand didn't know
that broom takes over.
We do.

Couldn't we make
changes BEFORE broom
ruins Vancouver Island?



Scotch broom increases risk of

FIRE DANGER

WHEREAS

Climate Change will bring us drought and hotter temperatures in which Scotch broom will thrive and act as a **volatile flash fuel**, **increasing the risk of wildfires** and specifically **Urban Interface Fires**;

Scotch Broom

- increases a wildfire's fuel load
- escalates the fire's intensity...
- make fires more difficult to fight.

Terry Peters, Fire Chief Powell River



Look at size of fire truck in this controlled

Page 23 of 216

Broom Burn in Powell River

Broom in the summer has
Naturally Occurring
Dry Branches
+ High Oil Content

Fire Danger



These photos are of LIVE
BROOM – Not Cut Yet





Photo from ISCBC

Broom Covering Transmission Lines

- Greatly increases **DANGER** that **FIRE** could spread across the island.
- Carries seed to previously broom-free areas.
- Blocks escape routes.



BC Hydro does not control the spread of broom because “there is no pressure from governing entities.”

WHEREAS...Scotch broom

spreads densely and rapidly



And Grows HUGE quickly



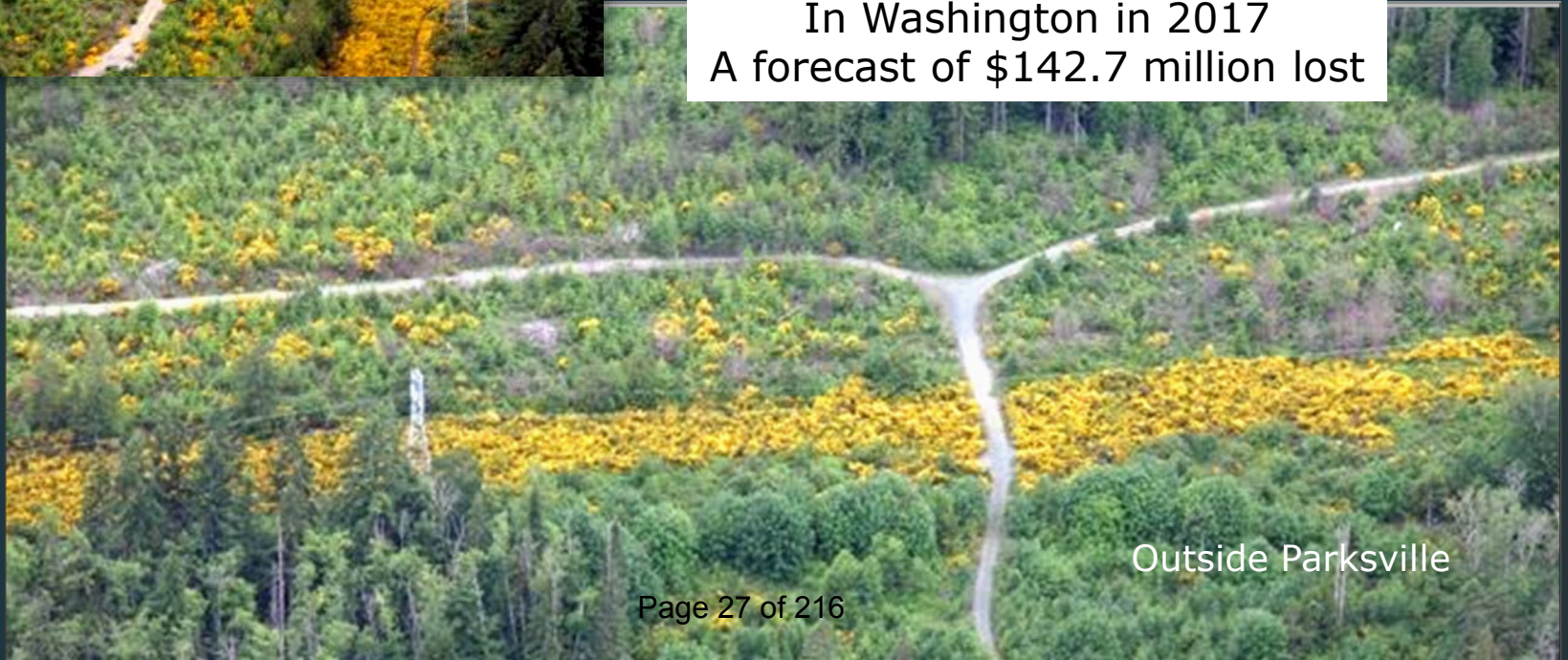
WHEREAS Scotch broom...

inhibits forests regrowth

Our **LOST FOREST** & **Lost** **TIMBER SALES**

Scotch Broom moves from
transmission lines
& logging roads into forests.

In Oregon in 2014
\$47 million lost timber sales
In Washington in 2017
A forecast of \$142.7 million lost



Outside Parksville

WHEREAS SCOTCH BROOM SPREADS DENSELY AND RAPIDLY,
negatively impacts agricultural production

Scotch broom is Toxic to grazing animals & wildlife

Releases toxins & changes soil chemistry

“The Scourge of Pastureland”

When broom takes over farms, it's hard to reclaim.



A farm in Parksville

Single plant = 18,000 seeds
Viable in soil for 30+ years



A farm
in Coombs

PRIVATE PROPERTY PROBLEMS

**Land is too often stripped of trees:
“Cleared for development” or for “farming”
but then the land is left neglected.
Broom takes over.**



Cleared 2019 Broom grew 2-4 feet in only 2 growing seasons

**BROOM FIELDS are a tragedy
we could prevent.**



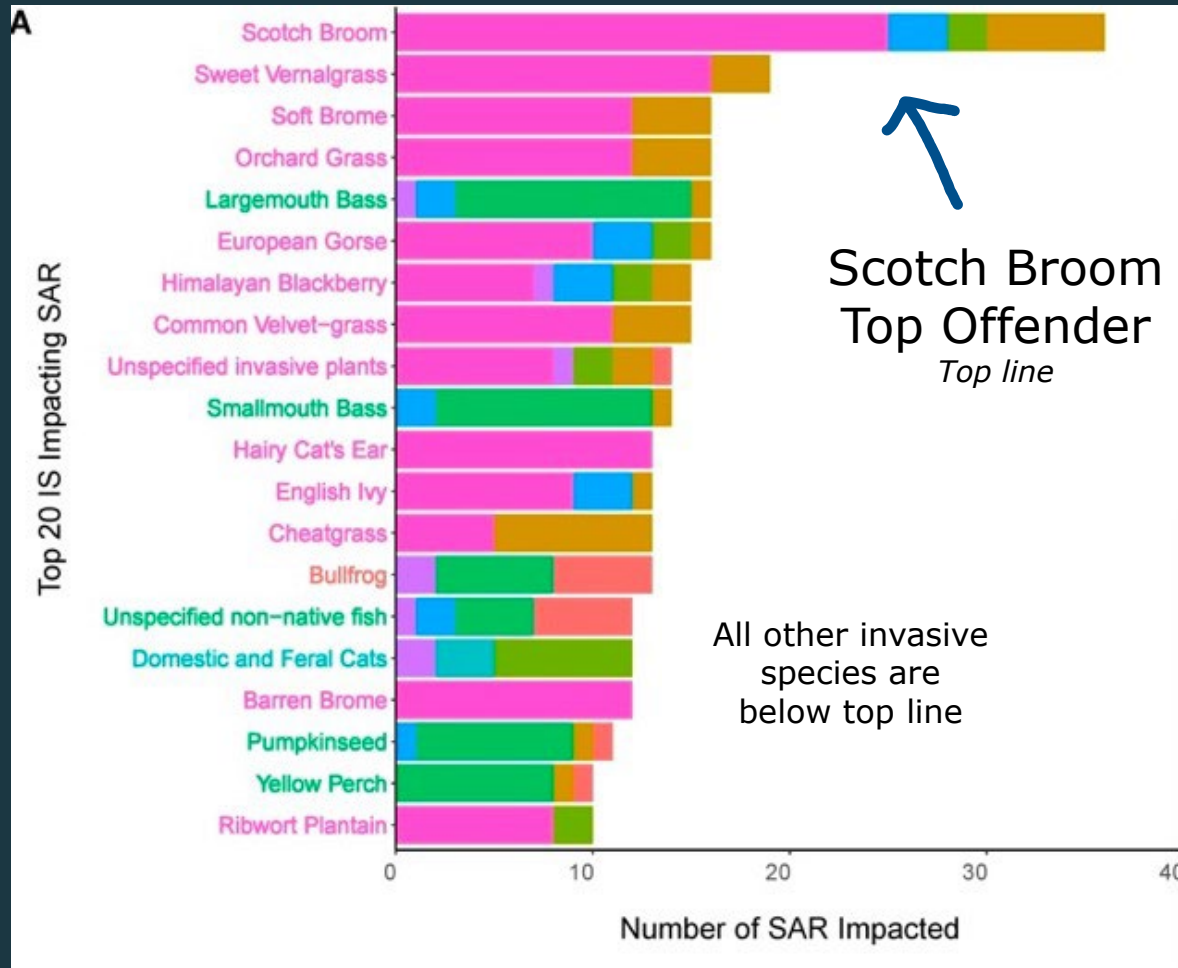
Cleared 10+ yrs ago. No trees have regrown.



Parksville Cleared 2021. The next broom forest.

Threat to Biodiversity in BC

“Scotch Broom is THE invasive species causing the greatest harm to Species at Risk in BC”





THEREFORE, BE IT RESOLVED... LET US
...establish and implement actionable steps to control the aggressive spread of Scotch broom all across BC.



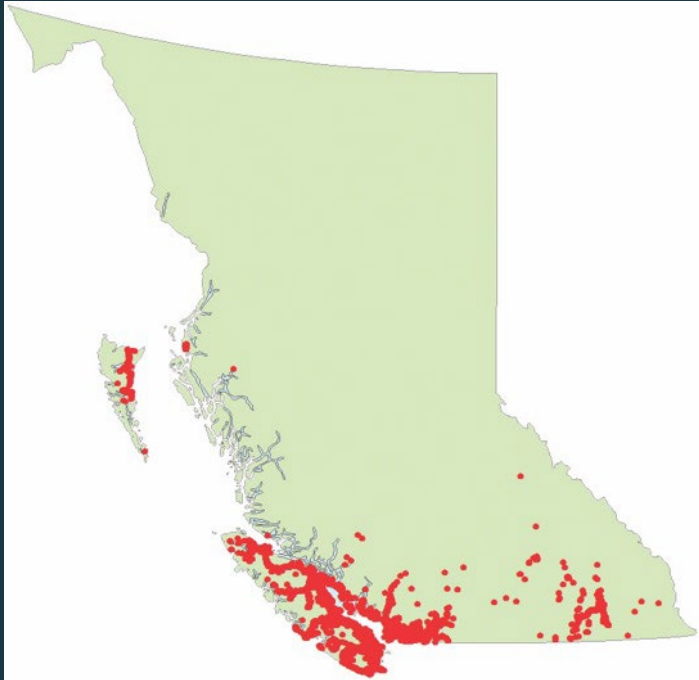


THEREFORE, BE IT RESOLVED, THAT AVICC
AND UBCM WORK WITH THE PROVINCE
**implement broom-free
fire breaks along
long stretches of broom;**

Why is nothing is being done about Scotch Broom?

Why is it only classified as a Weed of Concern ?

Consider: **Scotch broom is mostly on Vancouver Island.**
It's up to local governments and communities
on Vancouver Island to take action and speak out!



Broombusters' request is that
Ladysmith support Qualicum Beach's
RESOLUTION at AVICC
regarding the rampant and
unchecked spread of Scotch Broom
on Vancouver Island

PEOPLE CARE about the spread of Scotch broom and they want to see action.



Coquitlam



Little Qualicum Estuary



In 2022, 667 volunteers
cut broom over 6000 hours
across Vancouver Island & mainland.



There are now Broombusters
from Sooke to Alert Bay,
from the West Coast to Coquitlam.
17 Local Governments participate.





Volunteers in Ladysmith started
in 2022 and are ready to go.

Area organizer: Nikki Toxopeus of Ladysmith





FURTHER BE IT RESOLVED, that local governments are encouraged to use bylaws and policies to control and manage Scotch broom within and near urban boundaries.

We ask Ladysmith to Support This Resolution at AVICC and to consider a broom bylaws in Ladysmith.

Parksville, Qualicum Beach, Nanaimo, Campbell River, Port Alberni & Lantzville have passed bylaws. It helps!



Every year lost is land lost.

We can't leave this to future generations.

Let's stop the spread of Broom.

RESOLUTION from the Town of Qualicum Beach for AVICC 2023 Control of Scotch Broom (*Cytisus Scoparius*)

WHEREAS Climate Change brings us longer periods of drought and hotter temperatures in which Scotch broom, a highly flammable invasive species with high oil content and dry branches, will thrive and act as a volatile flash fuel, increasing the risk of wildfires and specifically Urban Interface Fires; and

WHEREAS Scotch broom spreads densely and rapidly, inhibiting forests regrowth, and negatively impacting agricultural production and native species, with a 2021 study for the Invasive Species Council of BC (ISCBC) designating Scotch broom as the Top Worse Offender - the invasive species doing the greatest harm to species at risk in BC;

THEREFORE, BE IT RESOLVED, that AVICC and UBCM work with the Province to establish and implement actionable steps to control the aggressive spread of Scotch broom all across BC, including implementing broom-free fire breaks along long stretches of broom; and

FURTHER BE IT RESOLVED, that local governments are encouraged to use bylaws and policies to control and manage Scotch broom near and within urban boundaries.

BACKGROUND

Scotch broom was first brought to Vancouver Island in 1850 and has been spreading intentionally and unintentionally since then. To say that Scotch broom is now “naturalized” implies that it has found a niche in the ecosystem. But Scotch broom is an aggressive colonizer that can and will spread into *any* open area, as it did on whole mountain sides in New Zealand. Scotch broom has just gotten started! We could still get it under control (not eliminated), but time is running out. With invasive plants, *every year lost is land lost*.

AVICC passed a resolution in 2017 regarding Scotch broom.

2017 Town of Qualicum Beach MOTION, was ENDORSED and PASSED

WHEREAS invasive Scotch broom has spread from an initial infestation in Sooke to become ubiquitous across Vancouver Island, creating a significant fire hazard and choking out native species;

AND WHEREAS cooperative effort by local government and a local volunteer community group— Broombusters Invasive Plant Society—in the Qualicum Beach area has shown that concerted action can prove effective against invasive Scotch broom; AND WHEREAS increased resources are needed to expand this project Island-wide:

THEREFORE be it resolved that the AVICC call on the Province to work with Vancouver Island local governments and community groups to effectively clear Scotch broom from highways, rail lines and power line rights-of-way over the next three years.

Unfortunately, little action has been taken. There is justified hesitation for passing BC-wide legislation regarding Scotch broom because the plant is already so widespread and out of control. But ignoring the severity of this problem is clearly negligent of our responsibility to the land, current residents, and future generations.

What's the Problem? Scotch broom:

Colonizes aggressively, matures quickly
Grows densely, crowding out native species
Threatens biodiversity
Highly Flammable – a volatile flash fuel
Negatively impacts forestry, agriculture, and tourist industries
Limits and prevents forest regrowth
Toxic to grazing animals, wild and domestic
Changes soil chemistry making it less suitable to native species
Takes over environmentally sensitive and favourite community wild spaces
Impacts medicinal plants on First Nation land

• Scotch broom increases FIRE DANGER

Climate change is bringing longer, hotter, drier summers and drought to BC, increasing fire danger. Mature Scotch broom is extremely flammable, with high oil content and naturally occurring dry branches, and it increases the likelihood of wildfires and Urban Interface Fires.

"Fire Smart initiatives are an important part for any community's survivability. The presence of Scotch broom will increase a wildfire's fuel potential and escalate its intensity. Test burns of this invasive noxious weed have proven to be highly flammable in large concentrations making a wildfire more volatile and difficult to extinguish."

Terry Peters, Fire Chief & Emergency Services Powell River

Broom under TRANSMISSION LINES: Dense, mature broom currently grows extensively under transmission lines creating long interconnected corridors of a highly flammable fuel.

• Scotch broom and BIODIVERSITY

Among all invasive species in BC, this aggressive colonizer is the biggest threat to biodiversity. A 2021 assessment study for Invasive Species Council of BC¹ designated Scotch broom as the "Top Offender", the invasive species doing the greatest harm to species at risk in BC.

• Scotch broom negatively affects AGRICULTURE - Land, Livestock, and Food Security

Scotch broom is called "the Scourge of Pastureland." It makes agricultural land unmanageable as seeds survive for 30+ years and sprout whenever soil is turned or disturbed. Scotch broom is toxic to cattle and all grazing animals (wild and domestic) and crowds out native plants and grasses upon which these animals depend for food. In addition, Scotch broom releases toxins into the soil and changes soil chemistry, making the soil less suitable for native plants.

• Scotch broom negatively impacts FORESTRY through Lost Timber Sales

Scotch broom inhibits and prevents forest regrowth. This is verified by statistics from Oregon and Washington: in 2014, Oregon reported \$47 million in lost timber sales because of Scotch broom² and in 2017, western Washington reported that widespread Scotch broom has the potential to cause \$142.7 million in lost timber sales.³

- **SCOTCH broom invades PRIVATE LAND.**

It has become too common for private land to be purchased for resale or development, then cleared of forest and ignored as Scotch broom takes over. This is happening all over. Local governments have the ability to stop this practice.

- **PEOPLE CARE about the spread of Scotch broom and they want to see action.**

There are many dedicated environmental groups cutting broom. Broombusters alone has between 600-700 volunteers cutting broom 6-7000 hours each spring.

Many AVICC municipalities actively support Broombuster volunteers: Qualicum Beach, Parksville, Nanaimo, Lantzville, Cumberland, Comox, Courtenay, Campbell River, North Cowichan, Ladysmith, Powell River, Sooke and Coquitlam. There were also volunteers working in the RDN, ACRD, CVRD, Ucluelet, Gabriola Island, Lake Cowichan, District of Highlands, Youbou and others. MOTI has supported Broombusters since 2003. **But this problem is bigger than volunteers. Much bigger.**

A Few Suggestions of What a Local Government Can Do:

This Resolution was deliberated non-specific, as situations vary dramatically across the Islands and BC Mainland. Solving this problem will require creativity, cooperation, commitment, and communication among all parties.

- Many municipalities have passed **bylaws about broom**, and when enforced, are highly effective. Bylaws will be necessary in regional districts.
- Eliminate Scotch broom from gravel pits. Make it EASY for residents to dispose of broom cut from private and public land. Engage city workers. Hire small teams to cut broom in the spring. Support volunteers so that their efforts are successful. Require that any Scotch broom infestation that is spreading seeds be kept broom-bloom free.
- *Early Detection-Rapid Response* (EDRR) practice is highly effective strategy targeting new invasive species. It does not apply to Scotch broom as it has spread extensively. But broom isn't everywhere. Broadly across the islands and within local area, *declare broom free zones and keep them clear*. Broom could be stopped from spreading extensively into the mainland now, but soon it will be too late.

THE GOOD NEWS

Qualicum Beach had huge broom lining its roads in 2006. The town is now mostly free of broom, except under the transmission lines. With recognized exceptions, when Scotch broom is cut at ground level or below before the drought of summer, the plant will die. "Cut Broom in Bloom" works. Where volunteers are at work, Scotch broom is disappearing. Everywhere else, it is spreading – like wildfire.

Scotch broom can be controlled but action must be taken now.

References:

- 1 <https://bcinvasives.ca/wp-content/uploads/2021/11/A-Systematic-Assessment-of-Invasive-Species-Impacts-to-Species-at-Risk-in-BC-2021.pdf>
- 2 <https://www.oregon.gov/oda/shared/Documents/Publications/Weeds/ScotchbroomProfile.pdf>
- 3 <https://kingcountyweeds.com/2017/03/23/learn-the-latest-on-scotch-broom-at-symposium-in-snoqualmie-on-may-23/>



TOWN OF LADYSMITH

PROCLAMATION

WORLD DOWN SYNDROME DAY

- WHEREAS:** *World Down Syndrome Day is an international observance resolved by the General Assembly of the United Nations to raise public awareness of Down syndrome and promote equitable treatment of individuals with Down syndrome in accordance with the Convention on the Rights of Persons with Disability; and*
- WHEREAS:** *At this time we take an opportunity to highlight the unique abilities, strengths and needs of our community members with Down syndrome; and*
- WHEREAS:** *Individuals with Down syndrome have tremendous potential to live full and fulfilling lives as contributing members of our community; and*
- WHEREAS:** *As Canadians, we celebrate our similarities, as well as our differences, knowing we are richer as a result; and*
- WHEREAS:** *The Town of Ladysmith values our citizens with Down syndrome and their families, and supports the well-being of all individuals with Down syndrome so that they may achieve their fullest potential.*
- THEREFORE,** *I, Aaron Stone, Mayor of the Town of Ladysmith, do hereby proclaim March 21, 2023 as World Down Syndrome Day in the Town of Ladysmith, British Columbia.*

Mayor A. Stone

February 21, 2023



TOWN OF LADYSMITH

PROCLAMATION

EPILEPSY AWARENESS "PURPLE DAY"

- WHEREAS** *Purple Day is celebrated on March 26 annually, during Epilepsy Awareness Month, to increase the public's knowledge and understanding of epilepsy and improve the quality of life of British Columbians living with epilepsy; and*
- WHEREAS** *Purple Day was founded in 2008 by Cassidy Megan, a nine-year-old girl from Nova Scotia, who wanted people living with epilepsy to know that they were not alone; and*
- WHEREAS** *People in communities around the world are encouraged to wear purple and host events in support of epilepsy awareness on Purple Day; and*
- WHEREAS** *There are over 50,000 people in British Columbia, over 380,000 people in Canada and over 65 million people worldwide living with epilepsy; and*
- WHEREAS** *The onset of epilepsy can occur at any age and stage of life and does not discriminate against age, gender, race, ethnicity, religion, socioeconomic status, geographic location, or sexual orientation; and*
- WHEREAS** *Purple Day is a health promotion effort to raise awareness of epilepsy and to create a society that embraces the beauty of difference.*
- THEREFORE,** *I, Aaron Stone, Mayor of the Town of Ladysmith, do hereby proclaim Sunday, March 26th, 2023 as "PURPLE DAY" in the Town of Ladysmith.*

January 10, 2023

Mayor A. Stone

STAFF REPORT TO COUNCIL

Report Prepared By: Julie Thompson
Reviewed By: Jake Belobaba, RPP, MCIP, Director of Development Services
Meeting Date: March 7, 2023
File No: 3360-21-12
Re: Rezoning Application for Multi-Family Development at 11 & 17 Warren Street

RECOMMENDATION:

That Council:

1. Give first and second readings to "Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2124";
2. Direct staff to proceed with scheduling and notification for a public hearing for Bylaw No. 2124 in accordance with section 464 of the *Local Government Act*;
3. Require that the property owner, prior to the adoption of Bylaw No. 2124, provide \$12,000, to be deposited into the Town Community Amenity Fund.
4. Direct staff to forward Bylaw No. 2124 to the Ministry of Transportation and Infrastructure for approval following third reading, in accordance with section 52 of the *Transportation Act*.

EXECUTIVE SUMMARY:

A rezoning application has been received to allow the construction of two fourplexes on 11 & 17 Warren Street. Staff recommend that Council give first and second readings to Bylaw 2124 and direct staff to proceed with a public hearing.

PREVIOUS COUNCIL DIRECTION:

N/A

PROPOSAL/CONTEXT:

The developer is proposing to construct two fourplexes at 11 & 17 Warren Street and has applied to rezone the subject properties. The proposed development includes a two-storey four-unit residential building with lane-access, and on-site parking accessible at the rear of the parcels. The applicant's rationale, building concepts, and a site plan are attached as



Figure 1: Subject properties.

Attachments A, B and C, respectively.

A single-family dwelling is currently located on the subject properties, with part of the building on each parcel. The dwelling is proposed to be removed to allow construction of the proposed fourplexes. The subject properties contain a few mature trees and there is a large cedar hedge between 17 Warren Street and the neighbouring properties to the southwest (941 1st Avenue). The developer is proposing to retain the hedge and as many mature trees as possible. The subject properties are both bordered by a laneway at the rear, and 11 Warren Street is also bordered by a laneway at the side. The immediate surrounding area consists of a mix of one or two storey single-family residences, commercial buildings, the Eagles Hall, and the Rotary Memorial Peace Garden & Cenotaph Park.

DISCUSSION:

Official Community Plan (OCP):

The subject property is located in the Downtown Mixed Use designation in “Official Community Plan 2003, No. 1488”. The Downtown Mixed Use designation encourages multi-family residential uses as an alternative to or in combination with commercial uses and supports a density of 75 units per hectare, and up to 100 units per hectare with density bonuses. This designation also supports stand-alone multi-family residential uses.

The following OCP policies are also relevant to the proposed development:

- 3.1.4(1) – Direct growth to lands within the Urban Containment Boundary (the subject properties are within the boundary).
- 3.1.4(2) – Direct growth to five general areas including the downtown.
- 3.1.4(3) – Encourage residential infill where vacant lots exist.
- 3.1.4(9) – To reduce land consumption, increased residential densities, such as compact lots, will be promoted at appropriate locations.
- 3.2.3(7) – The Town will encourage new residential development near the downtown over the next 5-20 years.
- 3.2.3(18) – The downtown will be promoted as a residential area with infill and mixed-use development as a key component.

The current OCP designation and various policies support the proposed development on the subject properties, therefore an OCP amendment is not required.

Draft OCP:

The Town is currently undergoing the process of adopting a new OCP to replace the existing OCP. While the new OCP has not yet been adopted, draft policies are generally supportive of the proposed development on the subject properties. Generally speaking, the proposed OCP supports residential infill in the Downtown Core.

Development Permit Areas:

The subject properties are located within Development Permit Area 2 - Downtown (DPA 2) and Development Permit Area 4 – Multi-Unit Residential (DPA 4) in the OCP. If the rezoning is approved, a development permit (DP) application will be required for the proposed development. Details of the building and site design, including parking and landscaping, can be refined at the DP stage. It is noted that a DP is required prior to the alteration of land, including removal of existing vegetation, and the retention of existing mature trees and shrubs on the subject property will be considered in more detail at the DP stage.

Zoning Bylaw:

The subject properties are currently zoned Live/Work Residential (R-2-LW) in “Town of Ladysmith Zoning Bylaw 2014, No. 1860”. The R-2-LW zone is intended to accommodate single-family residential uses or duplexes in combination with small-scale commercial and service uses. The R-2-LW zone does not permit multi-unit or townhouse dwellings (including fourplexes), therefore a rezoning is required to facilitate the proposed development.

The subject properties are proposed to be rezoned to the Medium Density Residential (R-3) zone with site specific provisions for reduced setbacks¹. The reduced setbacks are intended to provide more flexibility and space for the buildings since the parcel sizes are smaller than the typical R-3 zoned parcel.² Table 1, below, provides a summary of the regulations in the proposed R-3 zone and a summary of the proposed development.

Table 1: Zoning Regulations Summary

R-3 Zone Regulation Category	R-3 Zone Regulation	Proposed Development
Principal use	Townhouses Multiple-unit dwellings	Townhouses (4-plex)
Minimum floor space ratio	2.0	0.8
Minimum units per hectare	60	60
Maximum parcel coverage	50.0%	Approximately 40%
Maximum height	12.0m	9-10m
Minimum setbacks for principal buildings	*Site specific to the subject properties	
Front	3.0m	3m
Interior/Exterior	1.5m	1.5m-3m
Rear	3.0m	10.3m

The minimum front setback for accessory buildings is also proposed to be reduced from 6.0m to 3.0m for the subject property to align with the proposed 3.0m front setback for a principal building.

Community Planning Advisory Committee (CPAC):

¹ Setbacks from parcel lines in the R-3 zone for a principal building are 6.0m from the front and 4.5m from the sides and rear.

² The subject properties are each 668m² whereas most R-3 parcels meet or exceed the minimum parcel size of 2,023m² in the R-3 zone.

The rezoning application was considered by CPAC on October 5th, 2022 (meeting minutes are attached as Attachment E). CPAC passed the following resolution:

It was moved, seconded and carried that the Community Planning Advisory Committee supports the rezoning application in principle, but recommends that Council look for opportunities to:

- *Increase the density;*
- *Increase the amount of usable greenspace; and*
- *Keep with the proposed neo-traditional design.*

Staff have the following comments with respect to CPAC's recommendation:

- The immediate area surrounding the subject properties is low density, consisting mostly of one or two storey single unit dwellings. The proposed density (60 units per hectare) on the subject properties will be a suitable transitional density as the neighbourhood densifies over time. The applicant is not interested in increasing the proposed density on the properties and staff are supportive of the density as proposed.
- The size of the proposed building footprint (40% parcel coverage is proposed) would leave ample room for landscaping and greenspace on the remainder of the properties. Greenspace and landscaping will be reviewed in detail at the DP stage.
- The neo-traditional design is supported by the DPA 2 and DPA 4 guidelines. Specifics of the building design will be reviewed in detail at the DP stage.

Community Amenity Contribution (CAC) Policy:

The Town's CAC policy encourages rezoning applicants to contribute towards needed infrastructure and amenities as a way of ensuring that proposed development is seen as making a positive contribution to the neighbourhood and community at large. The applicant is proposing to contribute \$12,000 (\$2000 per each additional unit) to the Community Amenity Fund, to be used for future projects. The proposed CAC is consistent with the Town's current CAC policy and the draft CAC policy in the draft OCP.

Analysis:

Staff have the following comments with respect to the proposed Zoning Bylaw amendment application:

- The proposal is supported by OCP policies in both the existing and the new draft OCP.
- The proposed density of 60 units per hectare is suitable for the neighbourhood at this time, and the proposed building size and form is consistent with the neighbourhood character.
- The reduced setbacks will help to maximize the amount of space that buildings can occupy on the lot, provide more space at the rear of the lots for parking and amenities, and allow the buildings to be closer to the street, which is consistent with the character of the neighbourhood.

Based on this analysis, staff recommend that Bylaw No. 2124 be given first and second readings and proceed to public hearing.

ALTERNATIVES:

Council can choose to:

1. Amend Bylaw No. 2124 and give first and second readings of Bylaw No. 2124, as amended.
2. Not hold a public hearing for Bylaw No. 2124, in accordance with section 464(2) of the *Local Government Act*, and direct staff to proceed with notification that a public hearing will not be held in accordance with section 467 of the *Local Government Act*.
3. Refer the application back to staff for further review as specified by Council.
4. Defer consideration of the application until the new OCP is adopted.
5. Deny Zoning Bylaw amendment application 3360-21-12.

FINANCIAL IMPLICATIONS:

N/A

LEGAL IMPLICATIONS:

Pursuant to section 52 of the *Transportation Act*, the application must be referred to the Ministry of Transportation and Infrastructure for approval following third reading of Bylaw No. 2124 as the subject property is located within 800m of a controlled access highway.

If the application proceeds, a public hearing will be held and notification provided in accordance with section 465 and section 466 of the *Local Government Act*. If Council decides not to hold a public hearing, public notification must be issued before the bylaw is given any readings.

CITIZEN/PUBLIC RELATIONS IMPLICATIONS:

A Neighbourhood Information Meeting is not required under the Town of Ladysmith Development Procedures Bylaw No. 1667 unless an OCP amendment is proposed or required.

If Bylaw No. 2124 is given first and second readings, a public hearing will be held prior to third reading and adoption.

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS:

The application was referred to Engineering, Building Inspection and the Fire Chief for comments. No concerns were noted.

ALIGNMENT WITH SUSTAINABILITY VISIONING REPORT:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Complete Community Land Use | <input checked="" type="checkbox"/> Low Impact Transportation |
| <input type="checkbox"/> Green Buildings | <input type="checkbox"/> Multi-Use Landscapes |
| <input type="checkbox"/> Innovative Infrastructure | <input type="checkbox"/> Local Food Systems |
| <input type="checkbox"/> Healthy Community | <input type="checkbox"/> Local, Diverse Economy |

☐ Not Applicable

ALIGNMENT WITH STRATEGIC PRIORITIES:

☐ Infrastructure

☒ Economy

☐ Community

☐ Not Applicable

☐ Waterfront

I approve the report and recommendations.

Allison McCarrick, Chief Administrative Officer

ATTACHMENTS:

- A. Bylaw No. 2124
- B. Applicant letter
- C. Proposed site plan
- D. Proposed building design concepts
- E. October 5, 2022 CPAC minutes

TOWN OF LADYSMITH

BYLAW NO. 2124

A Bylaw to amend “Town of Ladysmith Zoning Bylaw 2014, No. 1860”

The Council of the Town of Ladysmith in open meeting assembled enacts the following amendments to “Town of Ladysmith Zoning Bylaw 2014, No. 1860”:

1. Schedule A – Section 10.10 “Medium Density Residential (R-3)”, sub-section 8 “Site Specific Regulations”

Add a new subsection to follow existing subsections and alphabetized accordingly, as follows:

- c) For the *Parcels* legally described as Lot 8, Block 5, District Lot 24, Oyster District, Plan 703A (17 Warren Street) and Lot 7, Block 5, District Lot 24, Oyster District, Plan 703A (11 Warren Street):

- i. Despite section 10.10(5)(d), no *Principal Buildings* or *Structures* shall be located closer to the *Parcel Line* than the minimum *Setbacks* shown in the Table below:

PARCEL LINE	MINIMUM SETBACK
<i>Front Parcel Line</i>	3.0 metres
<i>Interior or Exterior Side Parcel Line</i>	1.5 metres
<i>Rear Parcel Line</i>	3.0 metres

- ii. Despite section 10.10(5)(e), the minimum *Setback* for an *Accessory Building* or *Structure* from a *Front Parcel Line* is 3.0 metres.

2. Schedule B – Zoning Bylaw Map

Change the zone for the subject properties, Lot 8, Block 5, District Lot 24, Oyster District, Plan 703A (17 Warren Street) and Lot 7, Block 5, District Lot 24, Oyster District, Plan 703A (11 Warren Street), as shown in Schedule 1, attached to and forming part of this Bylaw, from “Live/Work Residential (R-2-LW)” to “Medium Density Residential (R-3)”.

Citation

3. This Bylaw may be cited for all purposes as “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2124”.

READ A FIRST TIME on the _____ day of _____, 2023

READ A SECOND TIME on the _____ day of _____, 2023

PUBLIC HEARING HELD on the _____ day of _____, 2023

READ A THIRD TIME on the _____ day of _____, 2023

APPROVED BY MINISTRY OF TRANSPORTATION

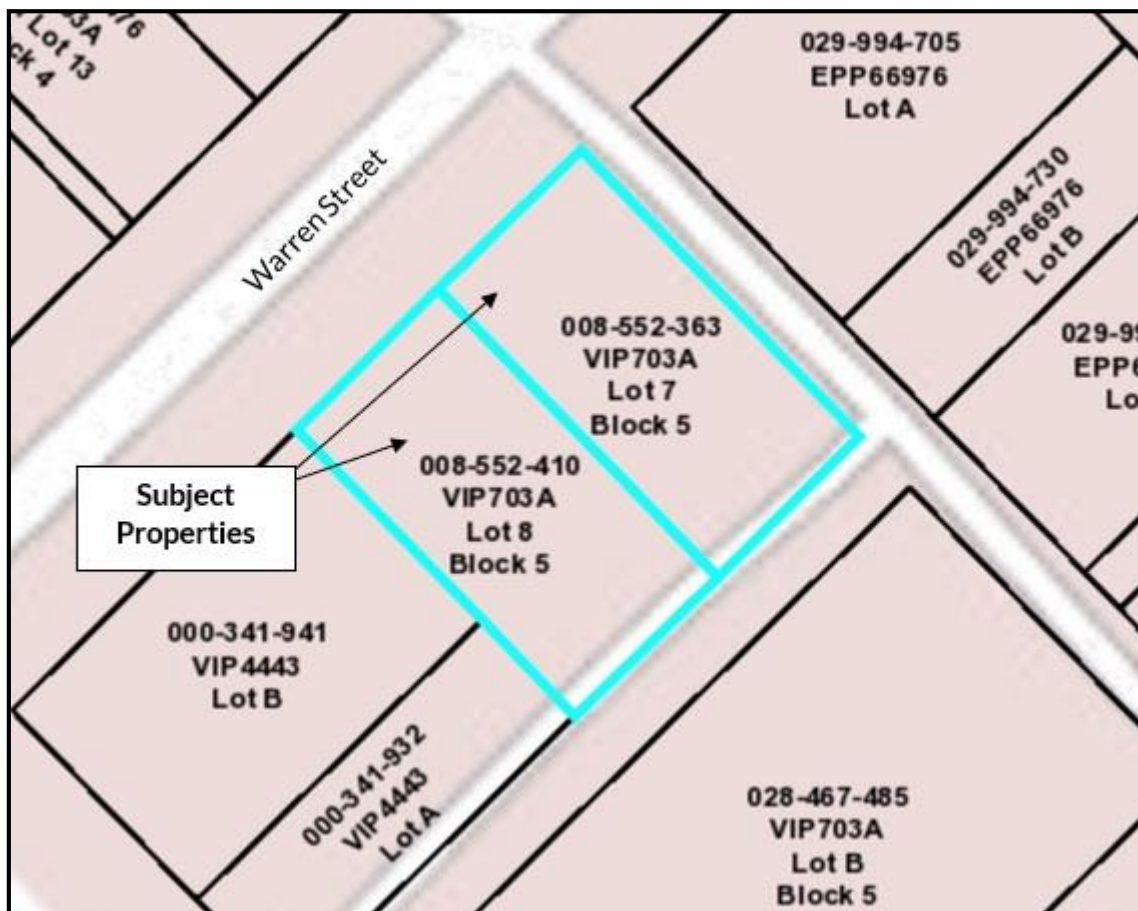
on the _____ day of _____, 2023

ADOPTED on the _____ day of _____, 2023

Mayor (A. Stone)

Corporate Officer (M. O'Halloran)

Schedule 1



Turner  land surveying^{inc.}

435 Terminal Avenue North,
Nanaimo, BC V9S 4J8

Phone: (250)753-9778
Email: info@turnersurveys.ca

December 13, 2021

Our File: 20-158

Julie Thompson,
Planner
Town of Ladysmith
132C Roberts Street
Ladysmith, BC V9G 1A2

Re: Re-zoning of 11 & 17 Warren Street, Ladysmith. (Lot 7 & 8, Block 5, District Lot 24, Oyster District, Plan 703A)

Dear Madame,

Our rationale for the re-zoning is as follows:

We propose to increase densification in the Downtown Core while holding the character of Ladysmith set forth in the Official Community Plan by seeking a re-zoning from live/work residential to multi-family. Depending on the proposed new zone classification under Bylaw 1860 the project may also require amendments to certain zoning aspects such as parcel size, floor space ratio, building height, and parcel coverage.

Please contact me if you require further information to process the application.

Sincerely,



Brody Phillips, BCLS
Turner Land Surveying Inc.

Turner & Associates
 land surveying^{inc.}

SITE PLAN OF PROPOSED BUILDING LOCATION ON:
LOTS 7 AND 8, BLOCK 5, DISTRICT LOT 24,
OYSTER DISTRICT, PLAN 703A.

Client: AVTAR PABLA

Chic Address: 11 & 17 WARREN STREET, LADYSMITH

File: 20-158

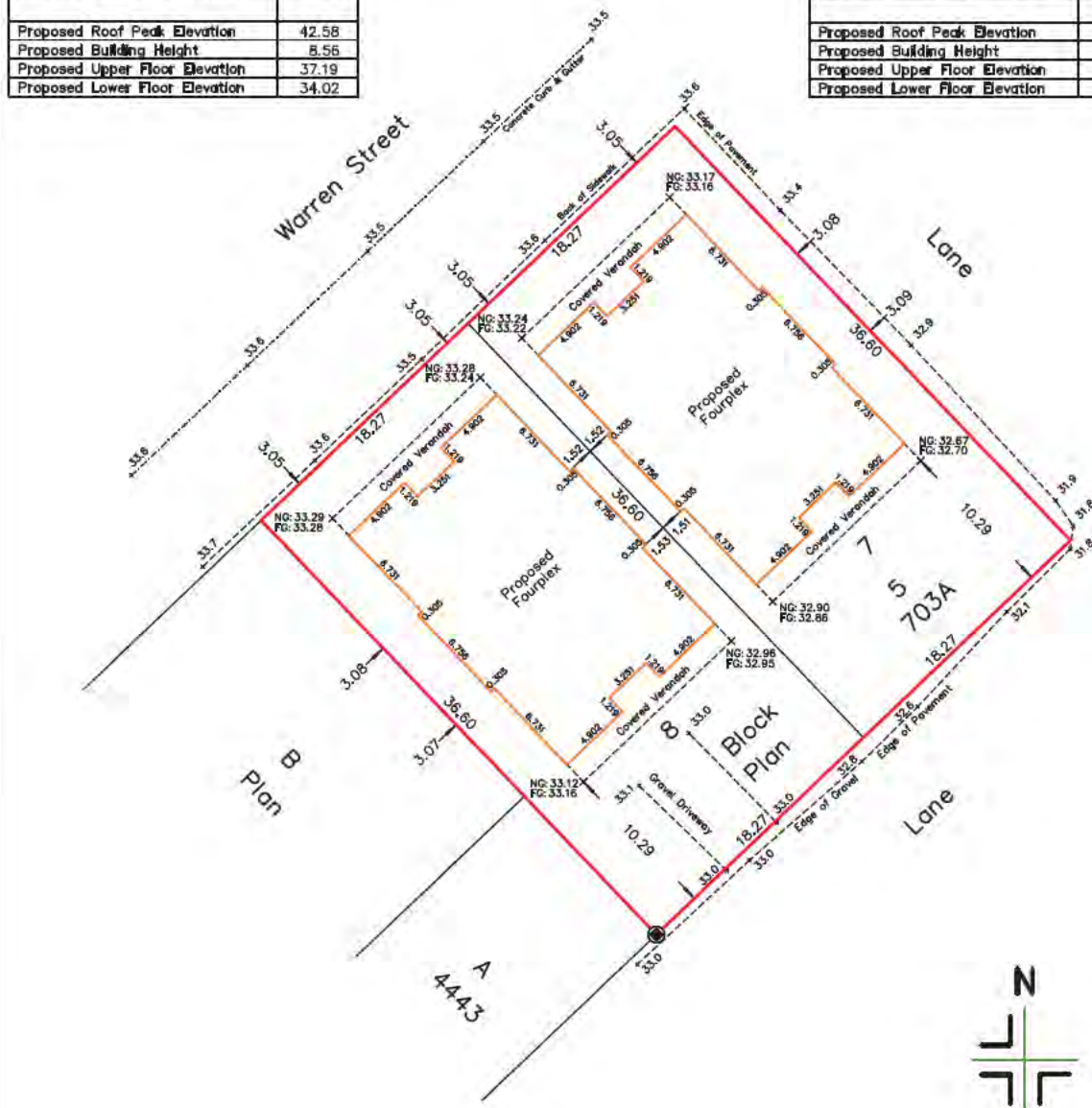
Scale: 1:300

Drawn by: DRW

Property Zoning: R-2-LW

PROPOSED BUILDING - LOT 8	
Zoning	R-2-LW
Parcel Size (m ²)	668.7
Parcel Coverage (%)	46.0
Avg. Natural Grade	33.17
Avg. Finished Grade	33.16
Maximum Building Height	9.00
Maximum Roof Peak Elevation	42.16
Proposed Roof Peak Elevation	42.58
Proposed Building Height	8.56
Proposed Upper Floor Elevation	37.19
Proposed Lower Floor Elevation	34.02

PROPOSED BUILDING - LOT 7	
Zoning	R-2-LW
Parcel Size (m ²)	668.7
Parcel Coverage (%)	46.0
Avg. Natural Grade	33.00
Avg. Finished Grade	32.99
Maximum Building Height	9.00
Maximum Roof Peak Elevation	41.99
Proposed Roof Peak Elevation	42.58
Proposed Building Height	8.56
Proposed Upper Floor Elevation	37.19
Proposed Lower Floor Elevation	34.02



SCALE 1:300

DISTANCES AND ELEVATIONS ARE IN METRES.

GEODETIC ELEVATIONS ARE DERIVED FROM
 CONTROL MONUMENT 98SG068 (CYD28BC DATUM).

NOTE:

THE REGISTERED TITLE OF THESE PROPERTIES IS AFFECTED BY
 THE FOLLOWING LEGAL NOTATIONS AND REGISTERED CHARGES,
 LIENS AND INTERESTS:

M28300.

THIS SITE PLAN DOES NOT VERIFY COMPLIANCE WITH THE ABOVE
 NOTED DOCUMENTS.

THIS SITE PLAN SHOWS THE RELATIVE LOCATION OF THE EXISTING AND PROPOSED
 STRUCTURES/IMPROVEMENTS WITH RESPECT TO THE BOUNDARIES OF THE
 DESCRIBED PARCEL ONLY.

THIS SITE PLAN SHALL NOT BE USED TO DEFINE PROPERTY LINES OR PROPERTY
 CORNERS.

THE SIGNATORY ACCEPTS NO RESPONSIBILITY FOR AND HEREBY DISCLAIMS ALL
 OBLIGATIONS AND LIABILITIES FOR DAMAGES ARISING OUT OF OR IN CONNECTION
 WITH ANY DIRECT OR INDIRECT USE OR RELIANCE UPON THE SITE PLAN BEYOND
 ITS INTENDED USE.

Turner & Associates

land surveying™

250.753.9778

435 Terminal Avenue North

Nanaimo, BC V9S 4J8

www.turnersurveys.ca

Certified correct this 10th day of December, 2020,

Digitally signed by Brody

Phillips 954A28

Date: 2021.11.02 12:30:43 -07'00'

B.C.L.S.

AVERAGE GRADE	
LOT 7	
I	33.22m
J	33.16m
K	33.0m
L	32.89m
M	32.70m
N	32.86m
O	32.98m
P	33.06m
263.87m ² 32.98m	
AVERAGE GRADE	
LOT 8	
A	33.28m
B	33.24m
C	33.11m
D	33.03m
E	32.95m
F	33.16m
G	33.15m
H	33.19m
265.11m ² 33.14m	

Attachment D



1 SITE PLAN
SCALE 1/8" = 1'-0"



2 STREET VIEW
SCALE 1/8" = 1'-0"

Property Information

Project Type New Fourplexes
 Owners
 Site Address 11 & 17 Warren Street, Ladysmith
 Legal Description LOTS 7 and 8 BLOCK 5,
 DISTRICT LOT 24,
 OYSTER DISTRICT, PLAN 703A

LOT 7

Setbacks	
Front	10'
Rear	29' 8"
Left	10' 1"
Right	5'
Building Height	
9.62 m	
Floor Area	
Main	260 m ²
Upper	264 m ²
Total	524 m ²
Lot Area	669 m ²
Building Footprint	308 m ²
Lot Coverage	46%
Main Floor Elevation	34.02 m
Average Grade	32.98 m

LOT 8

Setbacks	
Front	10'
Rear	29' 8"
Left	5'
Right	10' 1"
Building Height	
9.46 m	
Floor Area	
Main	260 m ²
Upper	264 m ²
Total	524 m ²
Lot Area	669 m ²
Building Footprint	308 m ²
Lot Coverage	46%
Main Floor Elevation	34.02 m
Average Grade	33.14 m

Applicable Codes

BC Building Code Current Edition (2018)

Energy

Compliance path BCBC 9.36
 Requirements applicable to this project Step Code 3

Ventilation

BCBC 9.32



1500 Sherbrook Road Victoria B.C. Canada
 250.683.8127
 www.adaptdesign.ca

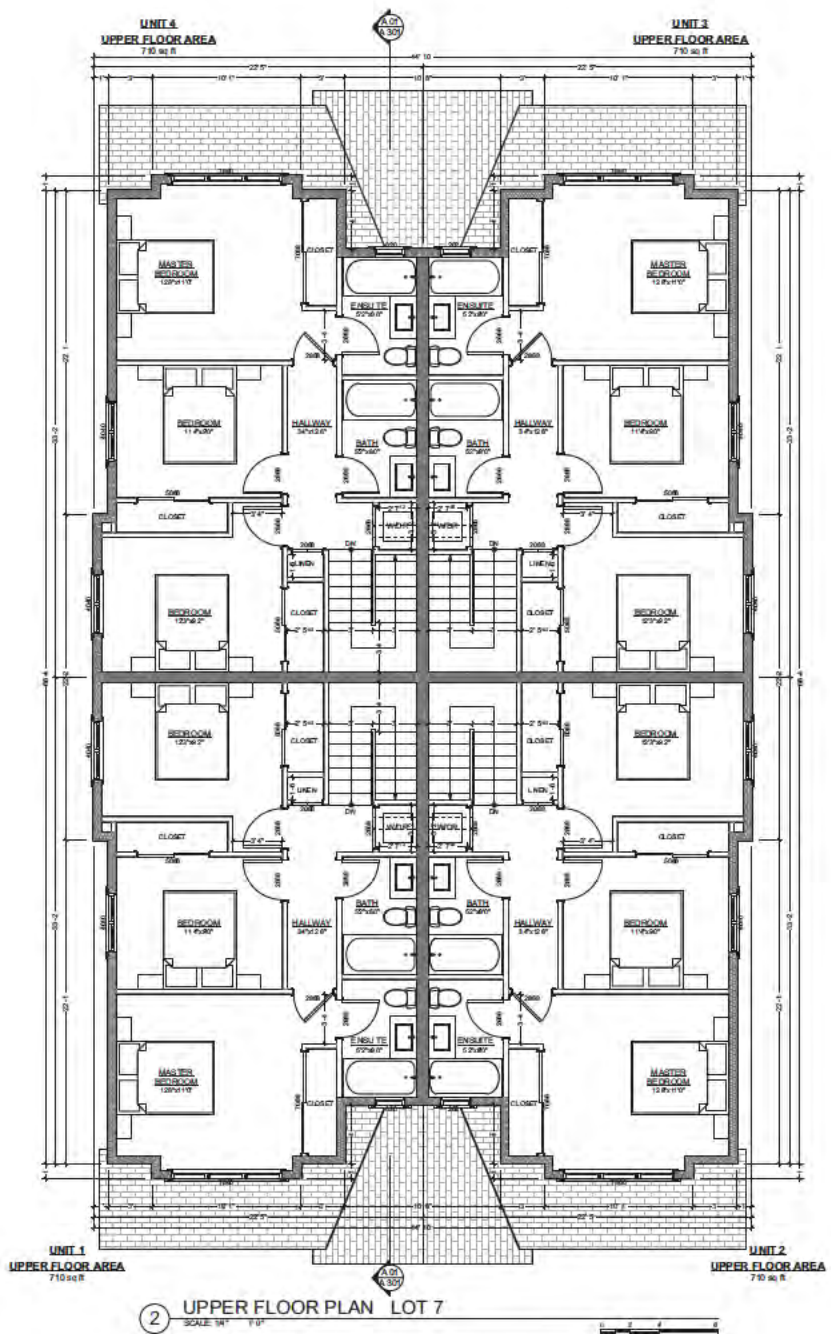
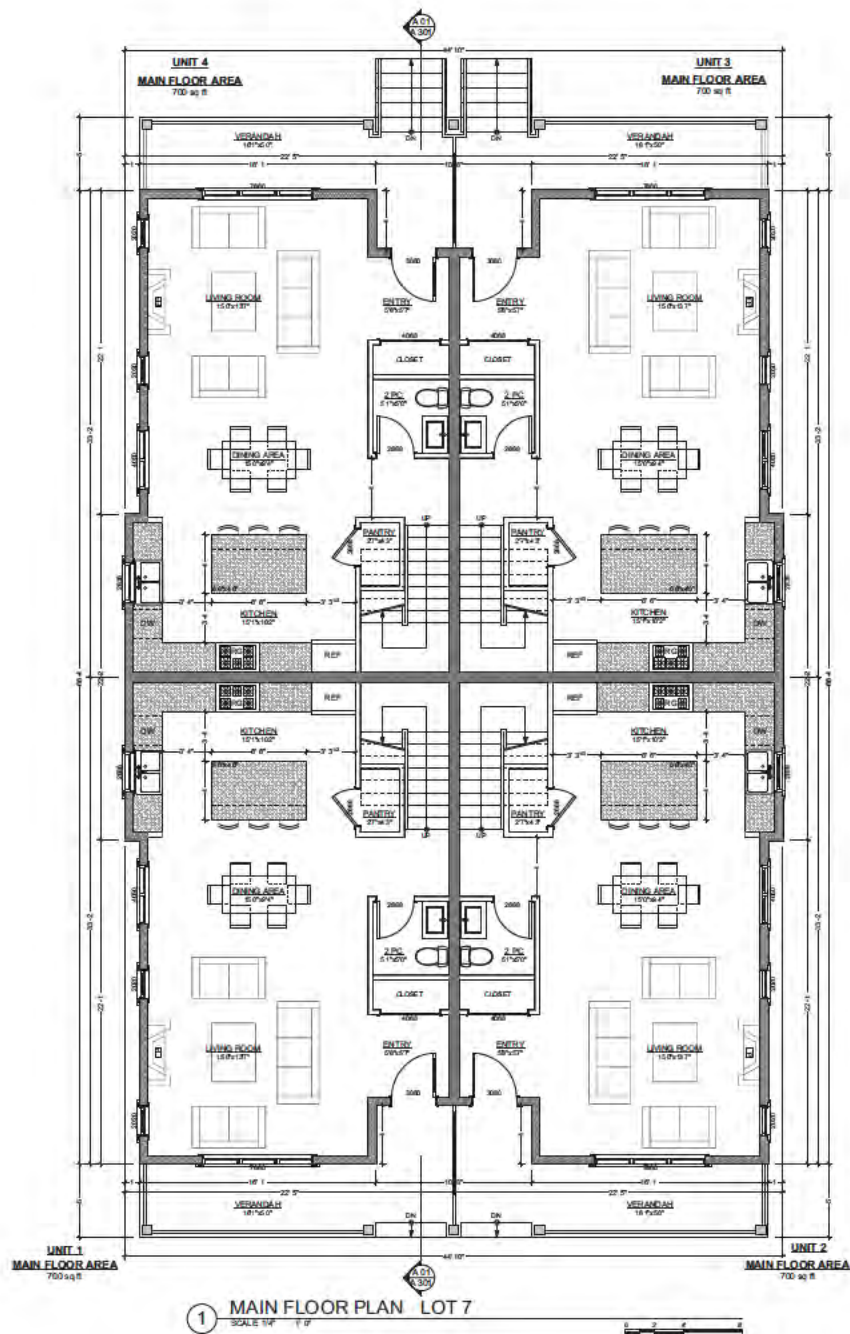
LADYSMITH
 FOURPLEXES

Drawings and typed text are the property of Adapt Design. They are not to be used or reproduced in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Adapt Design.

ISSUED
 FOR
 DP

SITE PLAN

A-002



ADAPT DESIGN

1500 Shawville Road Victoria, B.C. Canada
250.663.8127
www.adapt-design.ca

**LADYSMITH
FOURPLEXES**

Drawings and specifications are not intended to constitute a contract. The property of Adapt Design. These are not to be used in any other project without the written consent of Adapt Design. Adapt Design is not responsible for construction means, methods, techniques, or procedures, or for the safety, health, or welfare of the project.

The General Contractor is responsible for all safety and construction measures at the site. The Contractor will be responsible for construction means, methods, techniques, or procedures, or for the safety, health, or welfare of the project.

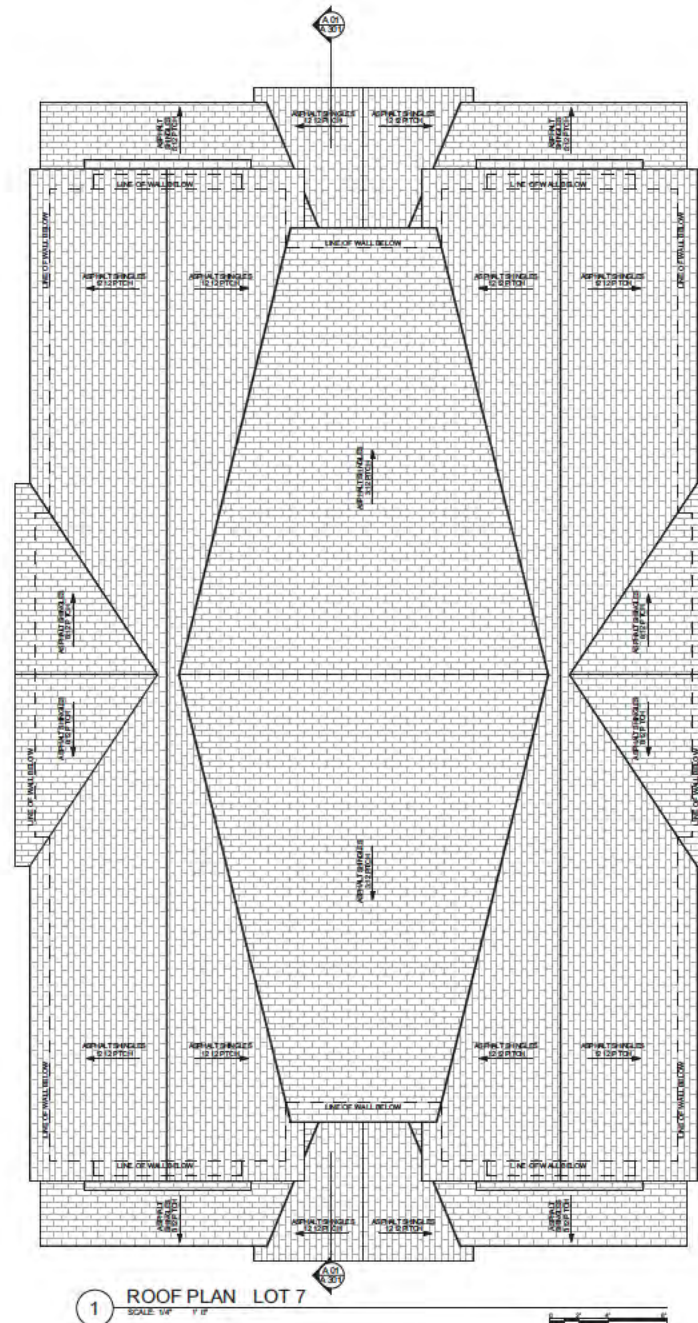
© Adapt Design

ISSUED
FOR
DP

SHEET:

MAIN AND UPPER
FLOOR PLAN LOT 7

A-101



1

ROOF PLAN LOT 7

SCALE: 1/4" = 1'-0"



1500 Sheppard Avenue East, Suite 200, Toronto, Ontario M2M 3L7
 TEL: (416) 491-8127
 www.adapt-design.ca

**LADYSMITH
FOURPLEXES**

Drawings and typed annotations are the property of Adapt Design. They are not to be used or reproduced without the written consent of Adapt Design. Any unauthorized use or reproduction is strictly prohibited and will result in legal action.

The General Contract is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

© Adapt Design

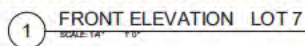
ISSUED
FOR
DP

ISSUED:

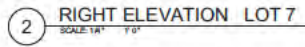
ROOF PLAN LOT 7

A-102

1/1/2020



PAGE NUMBER





3 REAR ELEVATION LOT 7
SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION LOT 7
SCALE: 1/4" = 1'-0"

EXTERIOR CLADDING LEGEND	
1	CEMENT BOARD PANEL CW
2	1X6 CFS BATTENS - PAINTED
3	CEMENT BOARD LAP S/DING
4	PAINTED
5	ASPHALT ROOFING SHINGLES
6	FINISHED CONCRETE
7	PAINTED

ADDITIONAL EXTERIOR FINISHES	
1	CONCRETE ALUMINUM PREFAB PANELS
2	CONCRETE ALUMINUM PREFAB PANELS
3	CONCRETE ALUMINUM PREFAB PANELS
4	CONCRETE ALUMINUM PREFAB PANELS
5	CONCRETE ALUMINUM PREFAB PANELS
6	CONCRETE ALUMINUM PREFAB PANELS
7	CONCRETE ALUMINUM PREFAB PANELS
8	CONCRETE ALUMINUM PREFAB PANELS
9	CONCRETE ALUMINUM PREFAB PANELS
10	CONCRETE ALUMINUM PREFAB PANELS
11	CONCRETE ALUMINUM PREFAB PANELS
12	CONCRETE ALUMINUM PREFAB PANELS
13	CONCRETE ALUMINUM PREFAB PANELS
14	CONCRETE ALUMINUM PREFAB PANELS
15	CONCRETE ALUMINUM PREFAB PANELS
16	CONCRETE ALUMINUM PREFAB PANELS
17	CONCRETE ALUMINUM PREFAB PANELS
18	CONCRETE ALUMINUM PREFAB PANELS
19	CONCRETE ALUMINUM PREFAB PANELS
20	CONCRETE ALUMINUM PREFAB PANELS
21	CONCRETE ALUMINUM PREFAB PANELS
22	CONCRETE ALUMINUM PREFAB PANELS
23	CONCRETE ALUMINUM PREFAB PANELS
24	CONCRETE ALUMINUM PREFAB PANELS
25	CONCRETE ALUMINUM PREFAB PANELS
26	CONCRETE ALUMINUM PREFAB PANELS
27	CONCRETE ALUMINUM PREFAB PANELS
28	CONCRETE ALUMINUM PREFAB PANELS
29	CONCRETE ALUMINUM PREFAB PANELS
30	CONCRETE ALUMINUM PREFAB PANELS
31	CONCRETE ALUMINUM PREFAB PANELS
32	CONCRETE ALUMINUM PREFAB PANELS
33	CONCRETE ALUMINUM PREFAB PANELS
34	CONCRETE ALUMINUM PREFAB PANELS
35	CONCRETE ALUMINUM PREFAB PANELS
36	CONCRETE ALUMINUM PREFAB PANELS
37	CONCRETE ALUMINUM PREFAB PANELS
38	CONCRETE ALUMINUM PREFAB PANELS
39	CONCRETE ALUMINUM PREFAB PANELS
40	CONCRETE ALUMINUM PREFAB PANELS
41	CONCRETE ALUMINUM PREFAB PANELS
42	CONCRETE ALUMINUM PREFAB PANELS
43	CONCRETE ALUMINUM PREFAB PANELS
44	CONCRETE ALUMINUM PREFAB PANELS
45	CONCRETE ALUMINUM PREFAB PANELS
46	CONCRETE ALUMINUM PREFAB PANELS
47	CONCRETE ALUMINUM PREFAB PANELS
48	CONCRETE ALUMINUM PREFAB PANELS
49	CONCRETE ALUMINUM PREFAB PANELS
50	CONCRETE ALUMINUM PREFAB PANELS
51	CONCRETE ALUMINUM PREFAB PANELS
52	CONCRETE ALUMINUM PREFAB PANELS
53	CONCRETE ALUMINUM PREFAB PANELS
54	CONCRETE ALUMINUM PREFAB PANELS
55	CONCRETE ALUMINUM PREFAB PANELS
56	CONCRETE ALUMINUM PREFAB PANELS
57	CONCRETE ALUMINUM PREFAB PANELS
58	CONCRETE ALUMINUM PREFAB PANELS
59	CONCRETE ALUMINUM PREFAB PANELS
60	CONCRETE ALUMINUM PREFAB PANELS
61	CONCRETE ALUMINUM PREFAB PANELS
62	CONCRETE ALUMINUM PREFAB PANELS
63	CONCRETE ALUMINUM PREFAB PANELS
64	CONCRETE ALUMINUM PREFAB PANELS
65	CONCRETE ALUMINUM PREFAB PANELS
66	CONCRETE ALUMINUM PREFAB PANELS
67	CONCRETE ALUMINUM PREFAB PANELS
68	CONCRETE ALUMINUM PREFAB PANELS
69	CONCRETE ALUMINUM PREFAB PANELS
70	CONCRETE ALUMINUM PREFAB PANELS
71	CONCRETE ALUMINUM PREFAB PANELS
72	CONCRETE ALUMINUM PREFAB PANELS
73	CONCRETE ALUMINUM PREFAB PANELS
74	CONCRETE ALUMINUM PREFAB PANELS
75	CONCRETE ALUMINUM PREFAB PANELS
76	CONCRETE ALUMINUM PREFAB PANELS
77	CONCRETE ALUMINUM PREFAB PANELS
78	CONCRETE ALUMINUM PREFAB PANELS
79	CONCRETE ALUMINUM PREFAB PANELS
80	CONCRETE ALUMINUM PREFAB PANELS
81	CONCRETE ALUMINUM PREFAB PANELS
82	CONCRETE ALUMINUM PREFAB PANELS
83	CONCRETE ALUMINUM PREFAB PANELS
84	CONCRETE ALUMINUM PREFAB PANELS
85	CONCRETE ALUMINUM PREFAB PANELS
86	CONCRETE ALUMINUM PREFAB PANELS
87	CONCRETE ALUMINUM PREFAB PANELS
88	CONCRETE ALUMINUM PREFAB PANELS
89	CONCRETE ALUMINUM PREFAB PANELS
90	CONCRETE ALUMINUM PREFAB PANELS
91	CONCRETE ALUMINUM PREFAB PANELS
92	CONCRETE ALUMINUM PREFAB PANELS
93	CONCRETE ALUMINUM PREFAB PANELS
94	CONCRETE ALUMINUM PREFAB PANELS
95	CONCRETE ALUMINUM PREFAB PANELS
96	CONCRETE ALUMINUM PREFAB PANELS
97	CONCRETE ALUMINUM PREFAB PANELS
98	CONCRETE ALUMINUM PREFAB PANELS
99	CONCRETE ALUMINUM PREFAB PANELS
100	CONCRETE ALUMINUM PREFAB PANELS

ADAPT DESIGN

1500 Sherbrooke Street West, Suite 100, Montreal, QC H3A 2K4
514 863 8127
www.adapt-design.ca

**LADYSMITH
FOURPLEXES**

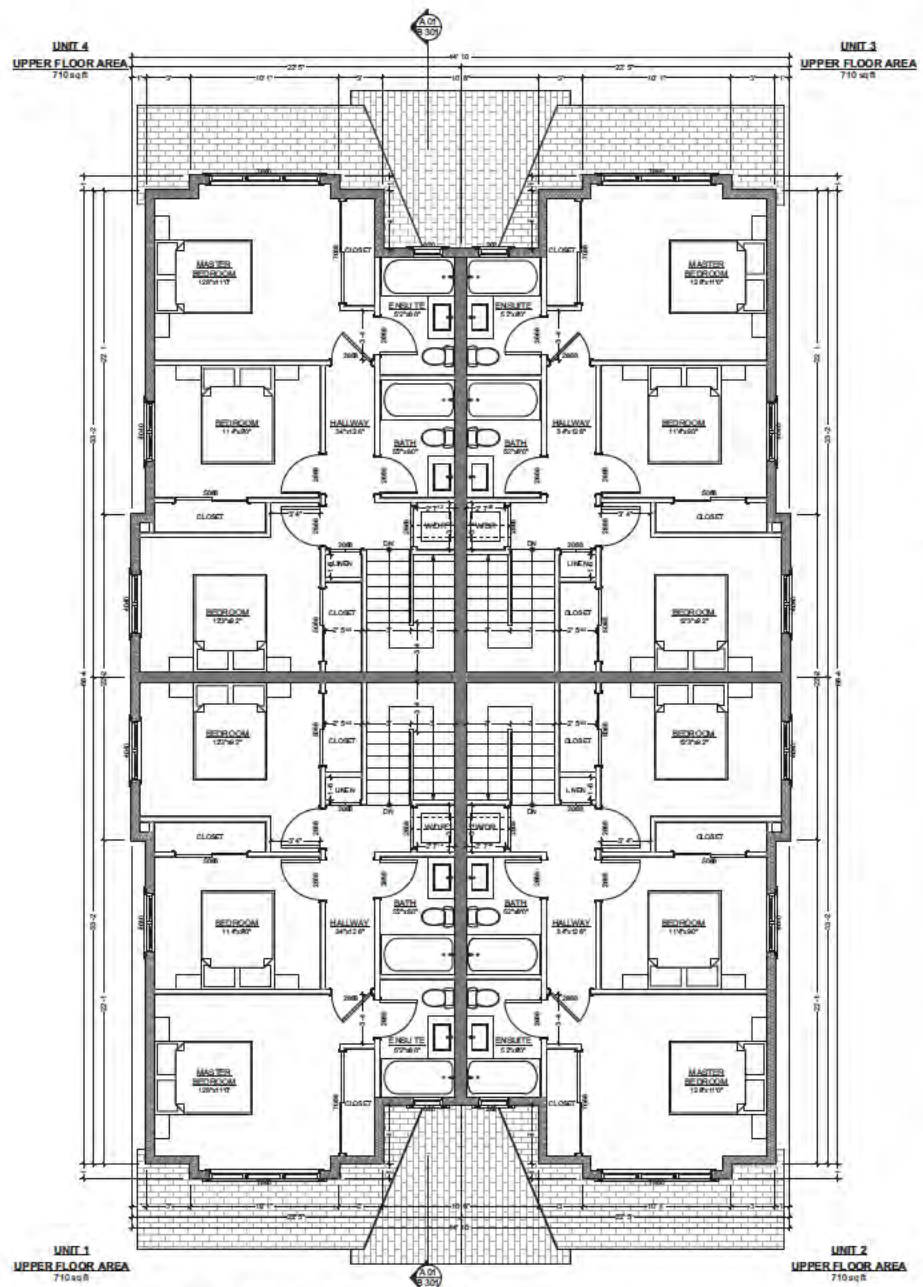
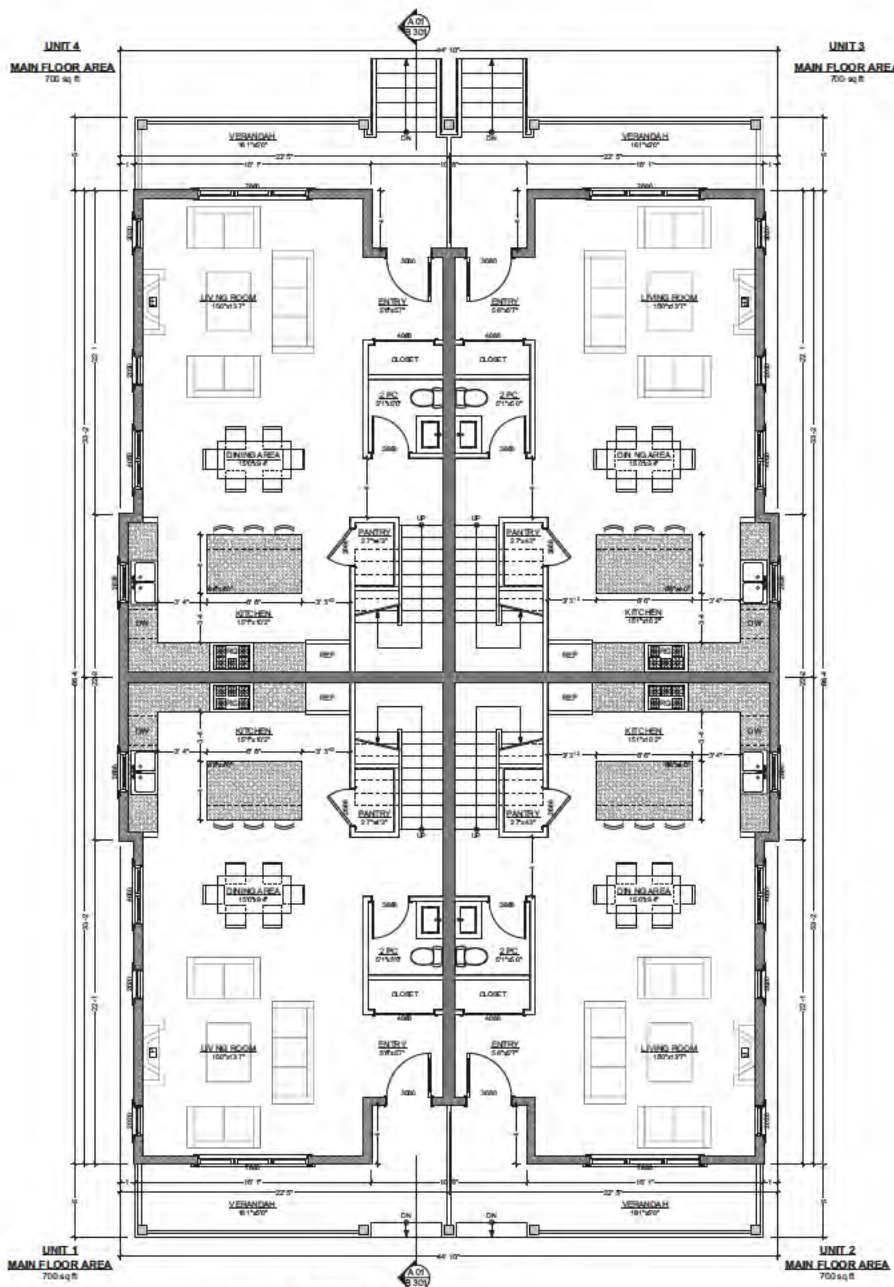
Drawings and specifications are prepared by Adapt Design. They are not to be used for construction without the approval of the City of Montreal. Adapt Design is not responsible for any errors or omissions in the drawings and specifications. Adapt Design is not responsible for any construction methods, materials, or equipment used in the construction of the project. Adapt Design is not responsible for any construction methods, materials, or equipment used in the construction of the project.

ISSUED FOR DP

ISSUED:

ELEVATIONS LOT 7

A-202



**ADAPT
DESIGN**

1500 Shawville Road Victoria B.C. Canada
250.683.8127
www.adapt-design.ca

**LADYSMITH
FOURPLEXES**

Drawings and related contents are the intellectual
property of Adapt Design. They are not to be used or
reproduced in any form or by any means
electronic or mechanical, including photocopying,
recording, or by any information storage and
retrieval system, without prior written permission
from Adapt Design.

The General Contract is applicable to the
construction and construction documents at the
time of the design. The Client will be responsible
for construction means, methods, techniques,
equipment, and materials to be used in the
construction and programs to be carried out in the
project.

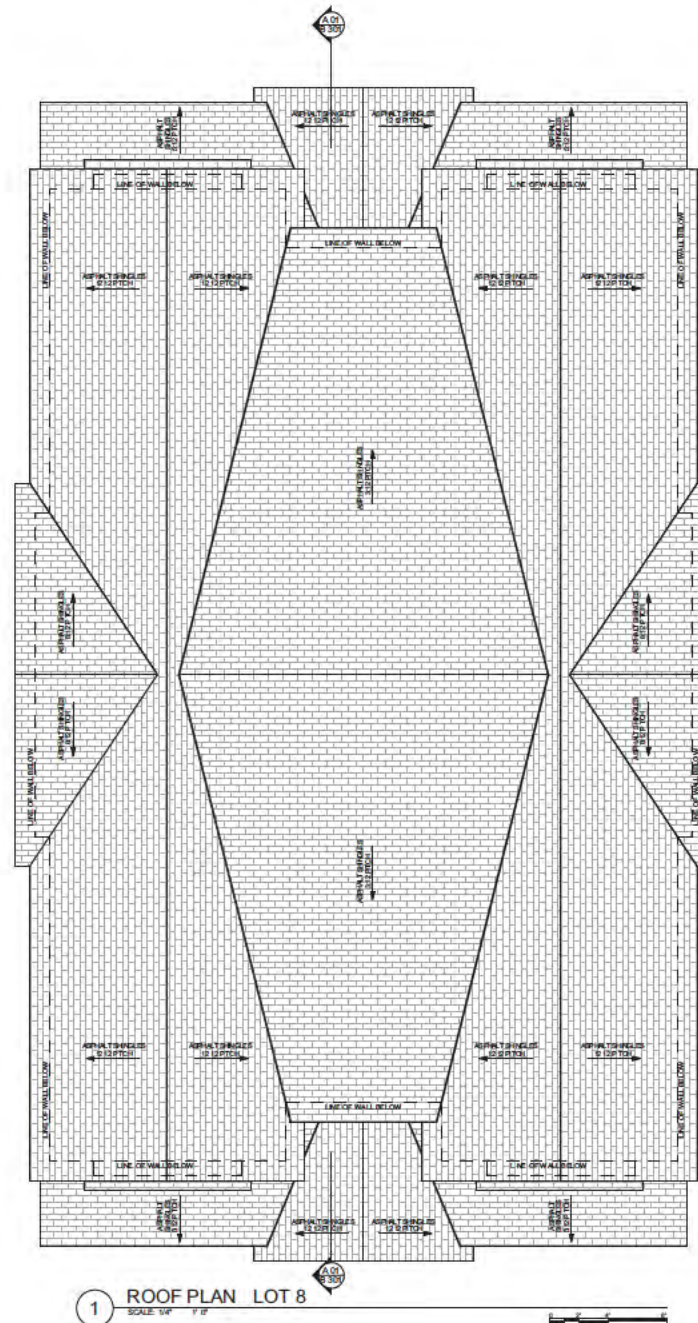
© Adapt Design

ISSUED
FOR
DP

SHEET:

MAIN AND UPPER
FLOOR PLAN LOT 8

B-101



1

ROOF PLAN LOT 8

SCALE: 1/4" = 1'-0"



1500 Sheppard Avenue East, Suite 200, Toronto, Ontario M2M 3L7
 416.491.8127
 www.adapt-design.ca

**LADYSMITH
FOURPLEXES**

Drawings and typed information are the property of Adapt Design. They are not to be used or reproduced without the written consent of Adapt Design. Adapt Design is not responsible for any errors or omissions in the drawings or information.

The General Contract is responsible for the design and construction of the project. The General Contract is responsible for the design and construction of the project. The General Contract is responsible for the design and construction of the project.

© Adapt Design

ISSUED
FOR
DP

ISSUED:

ROOF PLAN LOT 8

B-102

1/1/2021



1 FRONT ELEVATION LOT 8
SCALE: 1/4" = 1'-0"



EXTERIOR CLADDING LEGEND	
1	CEMENT BOARD LAP SIDING PAINTED
2	CEMENT BOARD PANEL CW DG CFS BATTING PAINTED
3	ASPHALT ROOFING SHINGLES
4	FINISHED CONCRETE (PAVED)

ADAPT ONLY EXTERIOR FINISHES	
CLADDING	1 CONTINUOUS ALUMINUM PROFILING
ROOFING	2 CONTINUOUS ALUMINUM PROFILING
PAINTING	3 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	4 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	5 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	6 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	7 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	8 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	9 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	10 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	11 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	12 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	13 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	14 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	15 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	16 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	17 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	18 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	19 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	20 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	21 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	22 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	23 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	24 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	25 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	26 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	27 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	28 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	29 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	30 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	31 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	32 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	33 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	34 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	35 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	36 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	37 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	38 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	39 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	40 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	41 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	42 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	43 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	44 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	45 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	46 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	47 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	48 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	49 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	50 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	51 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	52 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	53 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	54 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	55 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	56 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	57 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	58 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	59 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	60 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	61 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	62 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	63 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	64 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	65 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	66 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	67 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	68 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	69 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	70 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	71 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	72 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	73 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	74 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	75 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	76 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	77 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	78 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	79 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	80 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	81 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	82 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	83 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	84 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	85 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	86 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	87 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	88 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	89 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	90 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	91 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	92 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	93 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	94 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	95 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	96 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	97 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	98 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	99 CONTINUOUS ALUMINUM PROFILING
CEMENT BOARD	100 CONTINUOUS ALUMINUM PROFILING

1500 Sherrill Road Victoria B.C. Canada
250.603.8127
www.adaptdesign.ca

**LADYSMITH
FOURPLEXES**

Drawings and specifications are prepared by Adapt Design. They are not to be used for construction without the approval of the local authority. Adapt Design is not responsible for any errors or omissions in the drawings and specifications. The client is responsible for the accuracy of the information provided. Adapt Design is not responsible for any errors or omissions in the drawings and specifications. The client is responsible for the accuracy of the information provided.

The General Contract is responsible for the construction of the building. Adapt Design is not responsible for the construction of the building. The client is responsible for the construction of the building. Adapt Design is not responsible for the construction of the building. The client is responsible for the construction of the building.

© Adapt Design



2 RIGHT ELEVATION LOT 8
SCALE: 1/4" = 1'-0"



**LADYSMITH
FOURPLEXES**

Drawings and specifications are prepared by Adapt Design. They are not to be used for construction without the approval of the local authority. Adapt Design is not responsible for any errors or omissions in the drawings and specifications. The client is responsible for the accuracy of the information provided. Adapt Design is not responsible for the construction of the building. The client is responsible for the construction of the building.

The General Contract is responsible for the construction of the building. Adapt Design is not responsible for the construction of the building. The client is responsible for the construction of the building. Adapt Design is not responsible for the construction of the building. The client is responsible for the construction of the building.

© Adapt Design

ISSUED
FOR
DP

ISSUED:

ELEVATIONS LOT 8

B-201



FRONT PERSPECTIVE VIEW
NOT TO SCALE



REAR PERSPECTIVE VIEW
NOT TO SCALE

ADAPT
DESIGN

1500 Broadway Street, Suite 100, Seattle, WA 98101
206.463.8127
www.adapt-design.com

**LADYSMITH
FOURPLEXES**

Drawings and specifications are prepared for the purpose of providing a visual representation of the proposed project. They are not to be used for any other purpose without the written consent of Adapt Design.

The General Contract is responsible for all construction and construction administration. The General Contractor is responsible for all construction materials, methods, techniques, and quality. Adapt Design is not responsible for construction and program to construct on or to the project.

© Adapt Design

ISSUED
FOR
DP

SHEET:

PERSPECTIVE VIEWS

B-401

1/16/2020



MINUTES

Community Planning Advisory Committee

Wednesday, October 5, 2022 at 7:00 p.m.

This meeting was held electronically

PRESENT: Acting Chair – Tamara Hutchinson; Members – Abbas Farahbakhsh, Brian Childs, Jason Robertson, Council Liaison – Marsh Stevens; Senior Planner & Recorder – Christina Hovey; Planner – Julie Thompson

ABSENT: Members – Jennifer Sibbald, Steve Frankel; Jason Harrison

GUESTS: Applicant – Brody Phillips (File No. 3360-21-12)

Senior Planner C. Hovey called the meeting to order at 7:17pm, acknowledging with gratitude that Ladysmith is located on the traditional unceded territories of the Stz'uminus First Nation.

1. ELECTION OF CHAIR

It was moved, seconded and carried that Jason Harrison be elected chair for another term.

2. ELECTION OF ACTING CHAIR

Tamara Hutchinson was selected as the acting chair of the meeting by consensus.

3. AGENDA APPROVAL

It was moved, seconded and carried that the Agenda of October 5, 2022 Community Planning Advisory Committee meeting be approved.

4. ADOPTION OF MINUTES

It was moved, seconded and carried that the Minutes of September 7, 2022 Community Planning Advisory Committee meeting be approved.

5. NEW BUSINESS

None.

6. COUNCIL REFERRALS

a. Zoning Bylaw Amendment 3360-21-12 – 11 & 17 Warren Street

Planner Julie Thompson provided a brief overview of the proposal. A development permit is required and will be referred to CPAC for review since the property is in DPA 2 (Downtown). Applicant Brody Phillips was available to answer questions from the committee and stated that he would relay the comments from the committee to the property owner.

The committee members made positive comments about the proposed style and design of the buildings which pick up on the “feel” of the area. Although the neighbouring homes are small there are some larger buildings nearby (e.g. Buckingham's Browsersium, Eagles Hall).

The committee pointed out that the location of the property is ideal for additional density and multi-family housing. The parcel is flat and is in the downtown, one of the most walkable locations in Ladysmith. The proposal supports the goal of having more

people living in the downtown and the proposed 3-bedroom units would accommodate families. There are opportunities in the immediate area for redevelopment but the location is a tucked away/hidden. The committee encouraged additional density (more units than are proposed), provided it could be done without sacrificing the aesthetic style of the buildings.

CPAC recommended making changes to the proposal to allow for additional landscaping and outdoor amenity space. Suggestions included; reducing setbacks, reducing parking requirements, or reconfiguring the design from two to one buildings to remove the space between the buildings. For parking, Warren Street is wide enough to allow for ample on-street parking. The space between the buildings could be considered “wasted” if little light gets in and it can be poorly maintained, collecting moss and garbage.

It was moved, seconded, and carried that the Community Planning Advisory Committee supports the rezoning application in principle, but recommends that Council look for opportunities to:

- increase the density;
- increase the amount of usable greenspace; and
- keep with the proposed neo-traditional design.

7. **MONTHLY BRIEFING (7:40pm)**

The following files, that the Committee previously reviewed, have been to Council since the last meeting:

- Holland Heights/Lot 5 Holland Creek (3360-21-08)
- 1301 & 1391 Rocky Creek Road (3360-20-08)
- 1130 Rocky Creek Road (3360-20-02)

The draft new OCP received 1st reading and is being circulated to external agencies and other governments.

Committee members can review the Council Agendas and Minutes or contact staff for further information. One committee member expressed disappointment that 1130 Rocky Creek Road file was not referred back to CPAC by Council for further design review, which CPAC had requested. Senior Planner C. Hovey committed to looking into the possibility of amending the Committee Structure and/or Terms of Reference as a follow up to that concern.

8. **NEXT MEETING – TBD**

9. **ADJOURNMENT**

It was moved, seconded and carried that the meeting be adjourned at 8:37pm.



Acting Chair (T. Hutchinson)

RECEIVED:

Corporate Officer (D. Smith)

STAFF REPORT TO COUNCIL

Report Prepared By: Andrew Wilson, Planner
Reviewed By: Jake Belobaba, RPP, MCIP, Director of Development Services
Meeting Date: March 7, 2023
File No: 3360-22-05
Re: **Official Community Plan & Zoning Bylaw Amendment Application for 1141 Cloke Road (Coach House)**

RECOMMENDATION:

That Council:

1. Having considered section 475 of the *Local Government Act*, and in particular the matters set out in subsections (2)(a) and (b), resolve that:
 - a. the Stz'uminus First Nation and the School District 68 Board are the only entities that are appropriate to consult in connection with "Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2134";
 - b. consultation should be early but need not be ongoing;
 - c. the consultation process described in the staff report dated March 7, 2023 is sufficient in respect to the proposed Official Community Plan amendment; and
 - d. staff be directed to refer Bylaw No. 2134 to the Stz'uminus First Nation and School District 68 Board as set out in Resolution 1(a) for consultation in the manner described in the March 7, 2023 staff report to Council;
2. Give first reading to "Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2134";
3. Consider Bylaw No. 2134 in conjunction with the Financial Plan, Liquid Waste Management Plan, and the Cowichan Valley Regional District Solid Waste Management Plan, pursuant to sections 473 (2.1) and 477 (3) of the *Local Government Act*;
4. Give second reading to "Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2134";
5. Consider "Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2134" in conjunction with the Town's "Housing Needs Report" and the housing information on which the report is based, pursuant to section 473 (2.1) of the *Local Government Act*;
6. Direct staff to refer Bylaw No. 2134 to School District 68 pursuant to section 476 of the *Local Government Act*;

7. Give first and second readings to “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2135”;
8. Direct staff to schedule and provide notice for a public hearing for Bylaw No. 2134 and Bylaw No. 2135 in accordance with section 466 of the *Local Government Act*; and
9. Direct staff to refer Bylaw No. 2135 to the Ministry of Transportation and Infrastructure following third reading, pursuant to section 52 of the *Transportation Act*.

EXECUTIVE SUMMARY:

A Zoning Bylaw amendment application has been received for 1141 Cloke Road for the purpose of building a 2-storey coach house with ground floor garage and dwelling unit above. The applicant has requested a site-specific zoning amendment to permit a coach house as an accessory use. The proposed zoning amendment would allow for an increased height and gross floor area compared to the Zoning Bylaw regulations for a coach house.

Staff recommend that Council give first and second readings to “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2134” and to “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2135” and to direct that a public hearing be held. The proposal aligns with OCP objectives, such as promoting infill in existing residential areas and increasing residential densities, and it is not expected to negatively impact neighbouring properties.

PREVIOUS COUNCIL DIRECTION:

Resolution	Meeting Date	Resolution Details
CS 2023-031	Feb. 21, 2023	Coach House Regulations Zoning Amendment Bylaw: That Council give third reading to “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2100 <i>Motion Carried</i>
CS 2021-092	Mar. 16, 2021	That Council direct staff to bring forward amendments to the Zoning Bylaw related to two-storey coach houses as identified by the Committee of the Whole.
CS 2018-379	Oct. 2, 2018	That Council adopt “Town of Ladysmith Fees and Charges Bylaw 2008, No. 1644, Amendment Bylaw No. 6, 2018, No. 1974” <i>Motion Carried</i>
CS 2018-244	July 9, 2018	That Council: <ol style="list-style-type: none"> 1. Receive the staff report dated July 9, 2018 summarizing the coach house consultation 2018 results 2. Direct staff to amend the ‘Fees and Charges’ bylaw such that a reduced application fee of \$1,000 is applied for coach house rezoning applications on an R-1 zoned lot.

INTRODUCTION/BACKGROUND:

The subject property (see Attachment A) is 1119.9 m² in size and is located in a predominantly single-family residential neighbourhood. The parcel contains a two-storey single dwelling home

with an attached single-car garage and small 7.4m² shed. The back yard contains mature trees along the west property line and hedges along the north and east property lines creating privacy screening to all adjacent properties.

The subject property is in the Single Dwelling Residential (R-1) Zone in “Town of Ladysmith Zoning Bylaw 2014, No. 1860”. The surrounding zoning consists mainly of R-1 parcels, with multi-family zoning adjacent to the north of the property as shown in Attachment B. The R-1 zone does not currently allow coach houses.

PROPOSAL:

The applicant is proposing to build a two-storey coach house (see Attachment G) at 1141 Cloke Road (see Attachment A for subject property map). Attachment G shows the approximate location of the proposed coach house. The proposed coach house contains a 70m² second-storey dwelling space above a two-car garage and woodworking shop. The proposed building has a footprint of 84m² and a proposed height of 7.6m to accommodate 10-foot high ceilings on the first storey and a 12:12 pitched roof design. The parcel currently contains more than 2 parking spaces, which exceeds the current zoning requirement for coach house parking. A breakdown of the features of the proposed development and proposed regulations is provided in Table 1.

Table 1: Application Summary

	Current/Required	Proposed Regulations
Official Community Plan Designation	Single Family Residential	No change
Development Permit Area	No Development Permit Area	DPA 10 – Coach House Intensive Residential
Zoning	R-1	R-1 with site specific amendment to allow a coach house
Density	2 dwelling units (single unit dwelling + secondary suite)	2 dwelling units (single unit dwelling + secondary suite OR coach house)
Parcel Coverage	33% permitted (approx. 15% utilized)	33% (approx. 23% utilized)
Height	6.6m for two Storey Coach House	7.6m for two Storey Coach House
Coach House setbacks	Front: 6.0 Exterior Side: 1.5 Interior Side: 2.0* Rear: 2.0* *new coach house setbacks per Bylaw 2100	No changes
Landscaping and Screening	No requirement for Single Dwelling Residential zone	DPA-10 guidelines provide recommendations for landscaping and screening
Parking	1 space per dwelling unit	no change

The applicant's rationale letter and proposed coach house designs are provided in Attachments E and F respectively. The proposed coach house location is provided in Attachment G, although the exact location will be determined at the development permit stage.

ANALYSIS:

Official Community Plan Bylaw 2003, No. 1488 (OCP)

The subject property is located in the Single Family Residential land use designation in "Official Community Plan Bylaw 2003, No. 1488". The Single Family Residential designation provides for low density residential uses including single family and two family dwellings and secondary housing.

The following OCP policies are relevant to the proposal:

- 3.1.4(9) – to reduce land consumption, increased residential densities, such as compact lots, will be promoted in appropriate locations.
- 3.1.4(17) – the approval of infill or new subdivisions shall consider potential impacts on existing neighbours of the proposed development and new residents or users of the development.

The proposed coach house is supported by OCP policies. However, since the subject property is not located within a development permit area, an OCP amendment is required to move the subject property into Development Permit Area 10 – Coach House Intensive Residential (DPA 10) so that the DPA 10 guidelines will apply to the proposed coach house. DPA 10 guides the general character of coach houses and provides for the promotion of energy conservation, water conservation, and the reduction of greenhouse gas emissions. If Bylaw No. 2134 is approved, a development permit (DP) will be required prior to building permit.

New Draft OCP:

The Town is in the process of adopting a new OCP. In the draft OCP, the subject property is located in the "Neighbourhood Residential" land use designation and is in the "General Infill Growth Area". Neighbourhood Residential supports many housing choices, with diverse residential types, tenures, and densities, and supports coach houses. General Infill Areas enable and encourage intensification. A "housekeeping" amendment to the new OCP will be needed post adoption to add the DP area to this property.

Zoning Bylaw:

The subject property is currently zoned Single Dwelling Residential (R-1) in "Town of Ladysmith Zoning Bylaw 2014, No. 1860" (see Attachment B for zoning map). The R-1 zone permits secondary suites but does not permit coach houses, therefore a Zoning Bylaw amendment is required. Additionally, the applicant is proposing a larger coach house than zoning regulations currently allow.

Zoning Bylaw Amendment No. 2135 proposes to amend the R-1 zone by permitting a coach house on a site-specific basis on the subject property, increasing the allowable gross floor area of

a coach house from 60m² to 70m², increasing the maximum gross floor area exemption of a first storey accessory space from 60m² to 84m², and increasing the maximum height from 6.0m to 7.6m. It is noted that Bylaw No. 2135 is written in reference to the proposed zoning changes to the coach house regulations under Bylaw No. 2100, which was given third reading at the February 21 Council meeting. The size and height proposed in Bylaw No. 2135 do not, however, conform to the new coach house regulations, therefore a bylaw amendment is still required.

Table 1, above, summarizes the proposed bylaw amendments. The proposed coach house will meet all other regulations of the Zoning Bylaw including parcel coverage and setbacks. Ample off-street parking will be available and meets the parking requirement of one stall per dwelling unit on single-family parcels.

Housing Needs Report

Section 473(2.1) of the *Local Government Act* requires Council to consider the Town's Housing Needs Report when amending the OCP. The 2021 Ladysmith Housing Needs Report projects a total housing need between 2019 and 2025 of 510 units as follows:

- 384 one bedroom units
- 72 two bedroom units
- 53 units with 3 bedrooms or more

Detached accessory dwellings can provide housing for young adults, single and two-person households, individuals with special needs, and the elderly. They are generally more affordable rental options than conventional single-family homes and can contribute positively to the available rental housing stock. This proposal adds one additional one-bedroom unit to the Town's housing inventory.

Community Planning Advisory Committee (CPAC):

The application was considered by the CPAC on December 7, 2022. CPAC passed the following recommendation with respect to the application:

"It was moved, seconded and carried that the Community Planning Advisory Committee recommends that Council approve Zoning Bylaw Amendment 3360-22-05 (1141 Cloke Road) as presented."

The CPAC minutes for December 7, 2022 are provided in Attachment H.

Community Amenity Contribution (CAC) Policy:

The Town's CAC policy encourages rezoning applicants to contribute towards needed infrastructure and amenities as a way of ensuring that the proposed development is seen as making a positive contribution to the neighbourhood and community at large. Staff are not recommending a CAC for the proposed rezoning since the proposed changes will not increase the already permitted density on the property and the uses will remain residential.

Analysis Summary

Staff recommend that Bylaw No. 2134 and Bylaw No. 2135 be given first and second readings and proceed to the public hearing stage since the proposal is supported by the Housing Needs Report and the current and draft OCPs, and is not expected to make a negative impact on the community.

ALTERNATIVES:

Council can choose to:

1. Amend Bylaw No. 2134 and/or Bylaw No. 2135 and give first and second readings as amended.
2. Defer consideration of the application and refer the proposal to a subsequent meeting of Council.
3. Refer the application back to staff for further review as specified by Council.
4. Refer the application back to CPAC.
5. Deny Application No. 3360-22-05 for 1141 Cloke Road.

FINANCIAL IMPLICATIONS:

Section 477(3)(a)(i) of the *Local Government Act* requires the Town to consider its financial plan when adopting or amending an OCP. The application was referred to Financial Services for comment (see 'Interdepartmental Referrals') and the proposed OCP amendments are not expected to have an impact on the Town's financial plan.

LEGAL IMPLICATIONS:

Standard requirements for Council consideration and referrals established under provincial legislation have been accounted for in staff's review of the application and the recommendations of this report. At this time, there are no special legal considerations for this proposal.

Section 477(3) of the *Local Government Act* requires Council to consider Bylaw No. 2134 in conjunction with the Liquid Waste Management Plan, and the Cowichan Valley Regional District Solid Waste Management Plan. The proposed amendments to the OCP result in land use and density patterns that are consistent with the OCP growth management objectives and policies. Staff do not expect the development to have a negative impact on the Town's waste management plans.

CITIZEN/PUBLIC RELATIONS IMPLICATIONS:

Section 475 of the *Local Government Act* requires Council, when considering an amendment to the OCP, to provide one or more opportunities it considers appropriate for consultation with persons, organizations and authorities it considers will be affected. To meet this obligation, Council must specifically consider whether consultation should be "early and ongoing", and specifically consider whether consultation is required with:

1. The Board of the Cowichan Valley Regional District.
2. The Board of the Regional District of Nanaimo.
3. The Council of the District of North Cowichan.

4. First Nations, including the Stz'uminus First Nation, Hul'qumi'num Treaty Group and the Snuneymuxw First Nation.
5. The Board of School District 68.
6. The Provincial and Federal Governments and their agencies.

The Naut'sa Mawt Community Accord and Memorandum of Understanding between the Town and Stz'uminus First Nation require the Town to refer all OCP amendments to the Stz'uminus First Nation for comment. Similarly, section 476 of the *Local Government Act* requires the Town to refer the proposed OCP amendment to School District 68 for comments related to the impact on school facilities.

As the proposed OCP amendment is site-specific and small scale, staff are recommending that only the required referrals to Stz'uminus First Nation and School District 68 be carried out and that no further consultation is required.

Under section 464(1) of the *Local Government Act*, a local government must not adopt an official community plan without holding a public hearing. If the application proceeds as recommended, notice of the public hearing for Bylaw No. 2134 and Bylaw No. 2135 will be provided in accordance with section 466 of the *Local Government Act*, "Town of Ladysmith Development Procedures Bylaw 2008, No. 1667" and "Public Notice Bylaw 2022, No. 2119".

INTERGOVERNMENTAL REFERRALS:

The application must be referred to the Ministry of Transportation and Infrastructure as required under applicable legislation and as noted above, staff are recommending that formal referrals be sent to Stz'uminus First Nation and School District 68.

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS:

The application was circulated to Town departments for review and comment. Their comments are summarized below:

Table 4: Interdepartmental Referral Comments

Referred (Yes/No)	Department	Comments
Yes	Infrastructure Services	No concerns
Yes	Building Inspection	No concerns
No	Parks Recreation and Culture	n/a
Yes	Financial Services	No concerns
No	Legislative Services/Corporate Services	n/a
Yes	Fire/Protective Services	No concerns

ALIGNMENT WITH SUSTAINABILITY VISIONING REPORT:

- | | |
|--|--|
| <input type="checkbox"/> Complete Community Land Use | <input type="checkbox"/> Low Impact Transportation |
| <input type="checkbox"/> Green Buildings | <input type="checkbox"/> Multi-Use Landscapes |
| <input type="checkbox"/> Innovative Infrastructure | <input type="checkbox"/> Local Food Systems |
| <input type="checkbox"/> Healthy Community | <input type="checkbox"/> Local, Diverse Economy |
| <input checked="" type="checkbox"/> Not Applicable | |

ALIGNMENT WITH STRATEGIC PRIORITIES:

- | | |
|---|--|
| <input type="checkbox"/> Infrastructure | <input type="checkbox"/> Economy |
| <input type="checkbox"/> Community | <input checked="" type="checkbox"/> Not Applicable |
| <input type="checkbox"/> Waterfront | |

I approve the report and recommendations.

Allison McCarrick, Chief Administrative Officer

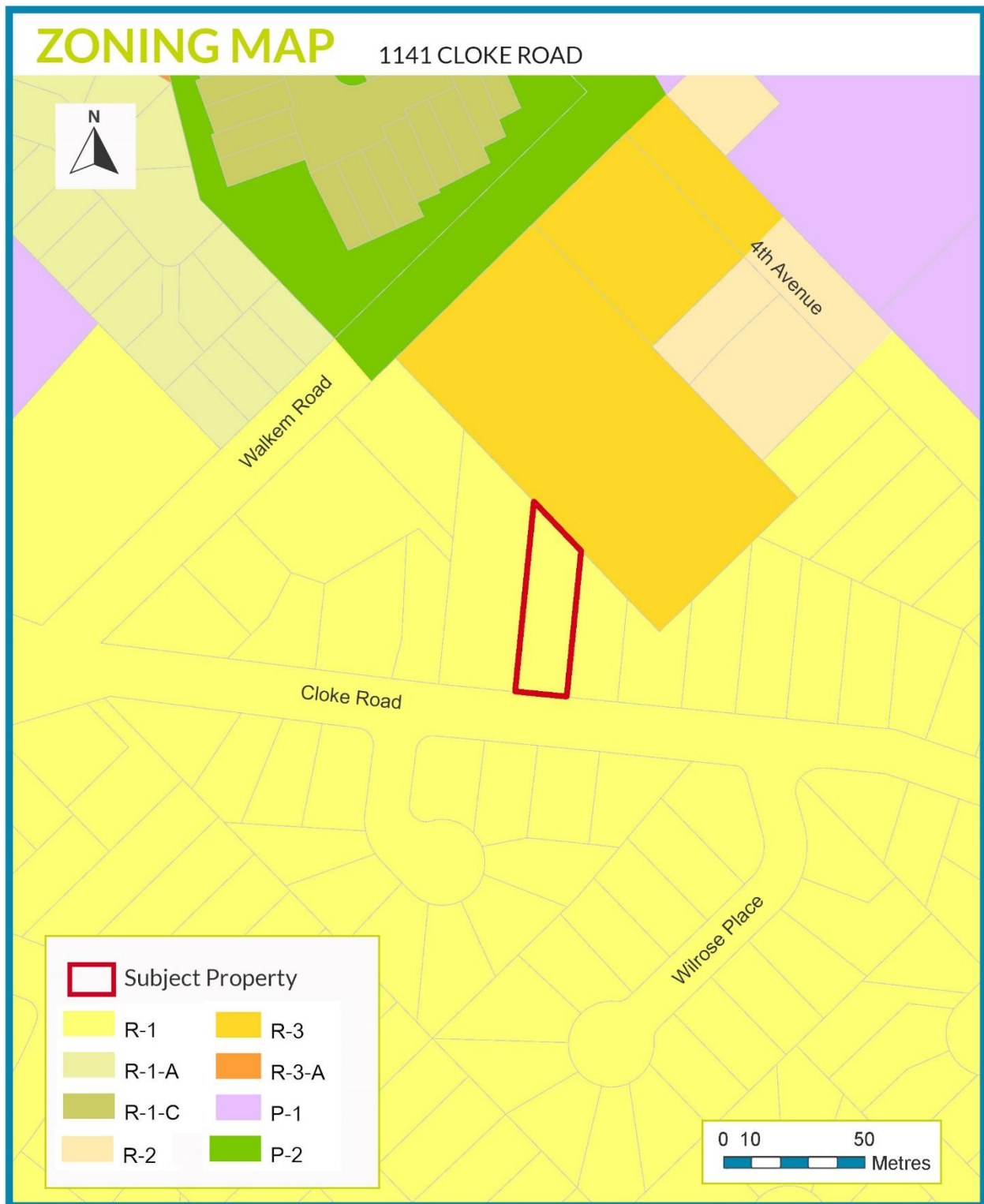
ATTACHMENTS:

- A. Subject Property Map
- B. Zoning Map
- C. Bylaw No. 2134
- D. Bylaw No. 2135
- E. Applicant Rationale Letter (March 15, 2022)
- F. Conceptual Coach House Renderings
- G. Approximate Coach House Location
- H. CPAC Minutes

SUBJECT PROPERTY
1141 CLOKE ROAD

The map displays an aerial view of a residential neighborhood. The subject property, located at 1141 Cloke Road, is highlighted with a red outline. It is situated between Walkem Road to the west and Cloke Road to the south. To the east, 4th Avenue runs parallel to Cloke Road. Numerous other properties are visible, each labeled with its address. A scale bar at the bottom indicates a distance of 50 meters. A north arrow is located in the upper left corner.

ATTACHMENT B



TOWN OF LADYSMITH

BYLAW NO. 2134

A Bylaw to amend “Official Community Plan Bylaw 2003, No. 1488”

The Council of the Town of Ladysmith in open meeting assembled enacts the following amendments to “Official Community Plan Bylaw 2003, 1488”:

- 1. Official Community Plan Map 2 - Development Permit Areas is amended to apply the Development Permit Area 10 – Coach House Intensive Residential to the property legally described as Lot A, District Lot 129, Oyster District, Plan VIP56439 (1141 Cloke Road) as shown in Schedule 1 which is attached to and forms a part of this Bylaw.

Citation

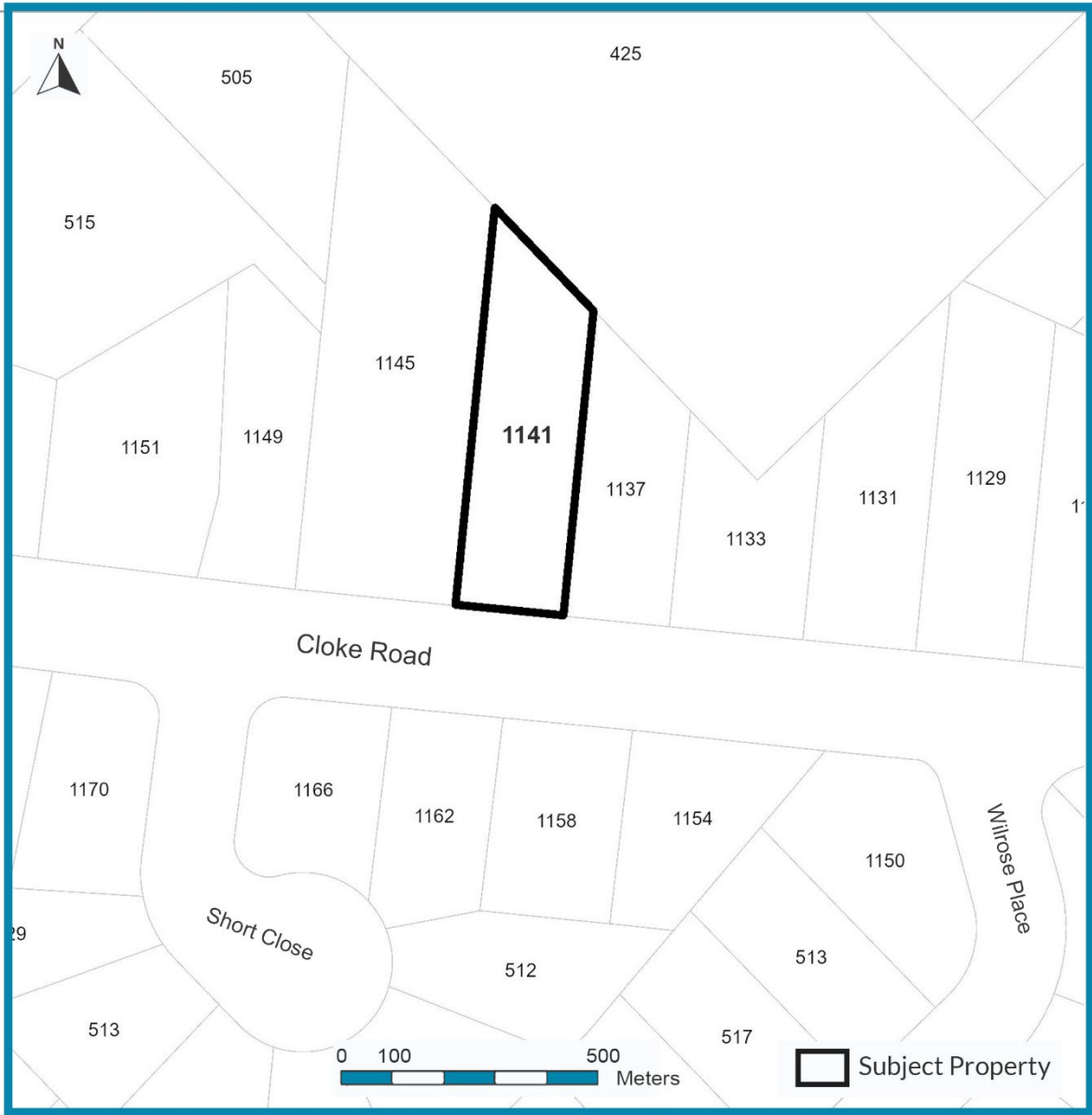
- 2. This Bylaw may be cited for all purposes as “Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2134”.

READ A FIRST TIME on the 7th day of March, 2023
READ A SECOND TIME on the 7th day of March, 2023
PUBLIC HEARING HELD on the _____ day of _____, 2023
READ A THIRD TIME on the _____ day of _____, 2023
APPROVED BY MINISTRY OF TRANSPORTATION
on the _____ day of _____, 2023
ADOPTED on the _____ day of _____, 2023

Mayor (A. Stone)

Corporate Officer (M. O’Halloran)

Schedule 1



TOWN OF LADYSMITH

BYLAW NO. 2135

A Bylaw to amend "Town of Ladysmith Zoning Bylaw 2014, No. 1860"

The Council of the Town of Ladysmith in open meeting assembled enacts the following amendments to "Town of Ladysmith Zoning Bylaw 2014, No. 1860":

1. Schedule A – Zoning Bylaw Text is amended by adding new site specific regulations to Section 10.2 Single Dwelling Residential (R-1), as follows:
 - a. The following is added to the end of Section 10.2(7):

"(d) For the *Parcel* legally described as Lot A, District Lot 129, Oyster District, Plan VIP56439 (1141 Cloke Road) the following site specific regulations shall apply:

 - i) *Coach House Dwelling* is permitted as an *Accessory Use* subject to Part 6, Section 6.5.
 - ii) Despite Section 5.14(d)(ii) the *Gross Floor Area* of a self-contained *Accessory* space on the *First Storey* of a *Coach House Dwelling* shall have a maximum exclusion of 84.0 square metres.
 - iii) Despite Section 6.5(b)(iii) the *Gross Floor Area* of a *Coach House Dwelling* shall not exceed 70.0 square metres.
 - iv) Despite Section 6.5(b)(iv)(1) the *Height* of a two *Storey Coach House Dwelling* shall not exceed 7.6 metres."

Citation

2. This Bylaw may be cited for all purposes as "Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2135".

READ A FIRST TIME on the _____ day of _____, 2023
READ A SECOND TIME on the _____ day of _____, 2023
PUBLIC HEARING HELD on the _____ day of _____, 2023
READ A THIRD TIME on the _____ day of _____, 2023
APPROVED BY MINISTRY OF TRANSPORTATION
on the _____ day of _____, 2023
ADOPTED on the _____ day of _____, 2023

Mayor (A. Stone)

Corporate Officer (M. O'Halloran)

ATTACHMENT E

Colin and Andrea Blake
1141 Cloke Road

Ladysmith
BC
V9G 1A2

March 15th 2022

We are writing to seek a variance on our property at the above address.

We would like to put this application in to seek a variance to build a
Garage/Carriage House to get more storage and offer rental accommodation.

As the town grows and more people are moving here, there does seem to be a
shortage of rental accommodation.

We have included details of the design and it is in keeping with the current house
that is on the property and the surroundings properties.

Access to the Garage/Carriage House will be a laneway/driveway parallel to the
adjacent properties driveway.

We feel it would be a great addition to the property and would enhance what is
already there.

Yours Sincerely,



Colin and Andrea Blake.

SEARCH (/SEARCH-PLANS.PHP)

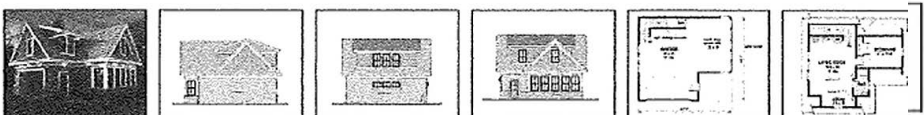


(/userfiles/photos/large/10390461725725fb72cfbac.jpg)

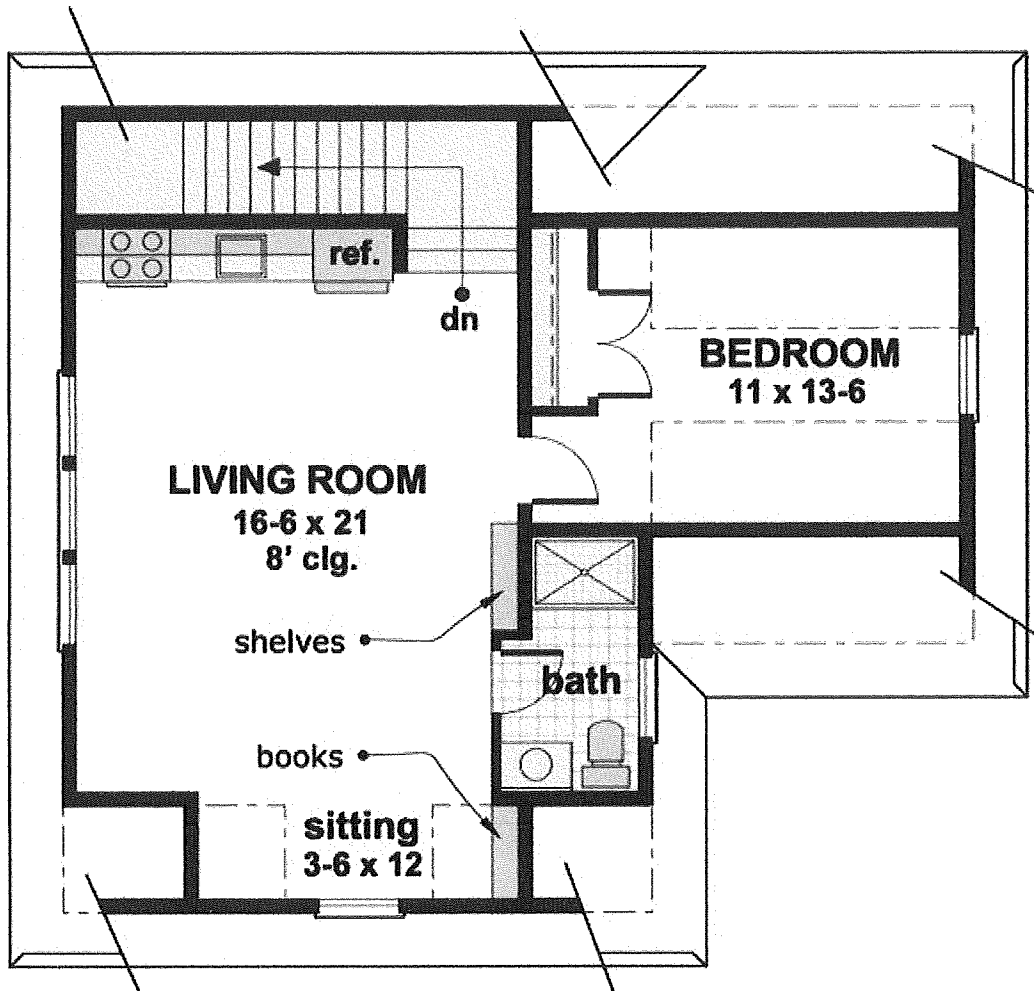
Carriage House Plan, 023G-0003

Plan 023G-0003

Click to enlarge. Views may vary slightly from working drawings. Refer to floor plan for actual layout.



SEARCH (/SEARCH-PLANS.PHP)

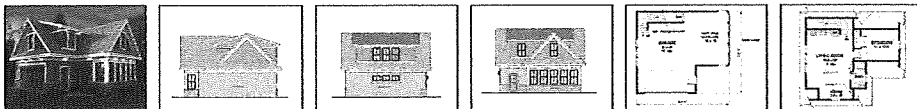


(/userfiles/floorplans/large/20026834115725fb7317b5a.jpg)

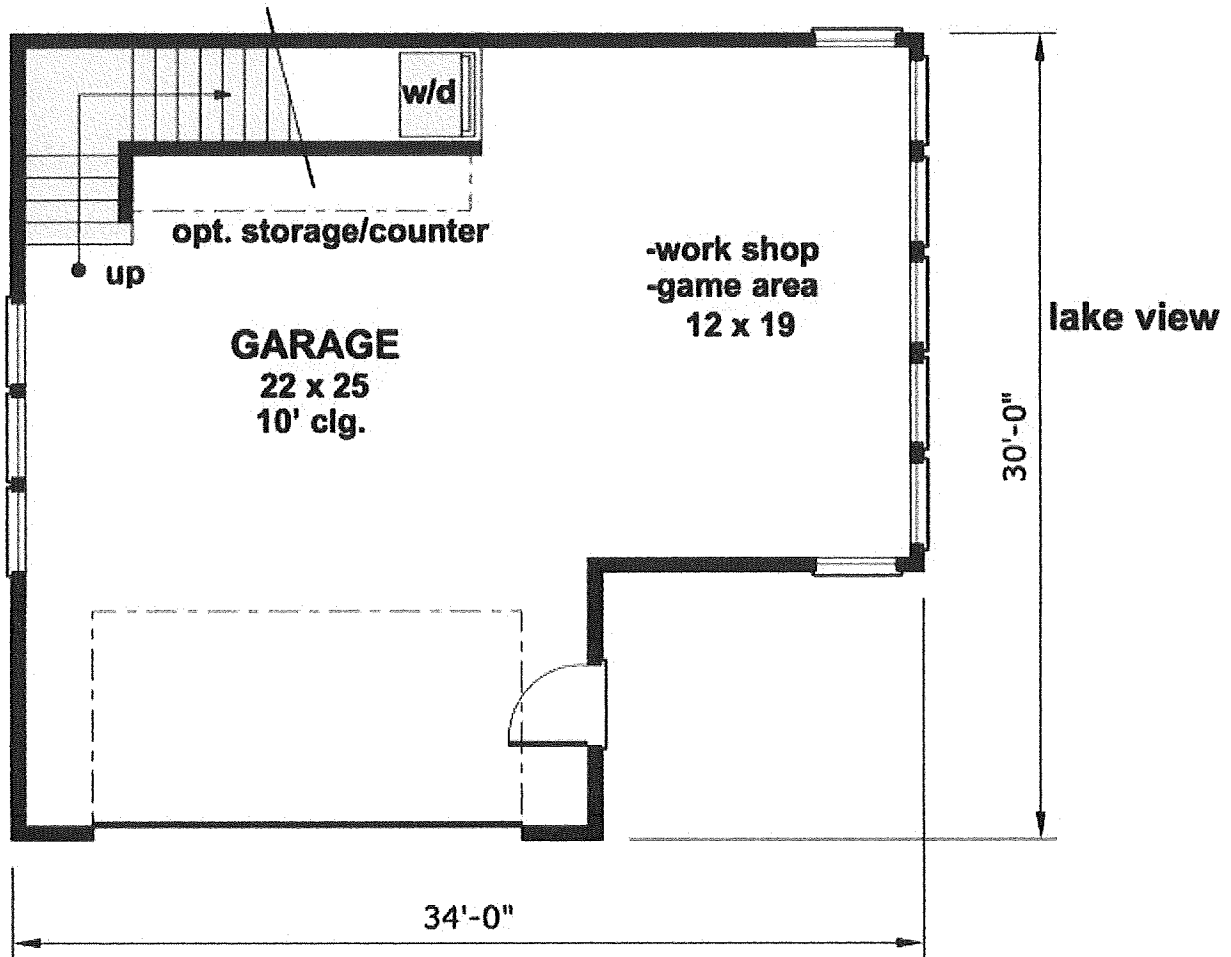
2nd Floor Plan, 023G-0003

Plan 023G-0003

Click to enlarge. Views may vary slightly from working drawings. Refer to floor plan for actual layout.



SEARCH (/SEARCH-PLANS.PHP)

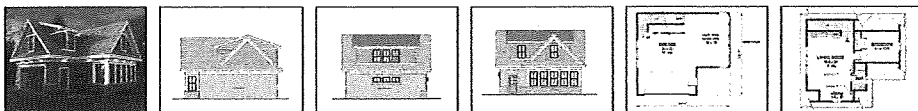


(/userfiles/floorplans/large/12772612935725fb72f2112.jpg)

1st Floor Plan, 023G-0003

Plan 023G-0003

Click to enlarge. Views may vary slightly from working drawings. Refer to floor plan for actual layout.



ADD TO CART 🛒 (/023G-0003.PHP#ORDER)

MODIFY PLAN 🖋 (/90/CONTENT/HOW-TO-MODIFY-YOUR-GARAGE-PLAN-.PHP)

ADD TO FAVORITES ❤ (MY-PLANS.PHP?GO=FAVORITE.ADD&ID=10342)

MORE BY THIS DESIGNER 🕹 (HOUSE-PLANS.PHP?DESIGNER_ID=29&TYPE=G)

Click large image to zoom.

Plan Details

Heated Sq. Ft.

Second Floor	754 sq. ft.
Total	754 sq. ft.

Unheated Sq. Ft.

Garage	900 sq. ft.
--------	-------------

Bedrooms

1

Full Baths

1

Dimensions

Width	34 ft. 0 in.
Depth	30 ft. 0 in.
Approx. Height	25 ft. 0 in.

Ceiling Heights

First Floor	10 ft. 0 in.
Second Floor	8 ft. 0 in.

Roof Pitch

12/12 Main

Garage Door Size(s)

16x8

Roof Framing

Truss

Exterior Wall

2x6

Foundation

Slab

Plan Features

Interior Features

Laundry

Plan Description

Detached two-car garage apartment plan with Craftsman flair

Main level offers a double garage plus a workshop for the family handyman or game area for the kids

Second floor apartment offers a comfortable bedroom, a full bath and an open living area

Space for a stackable washer/dryer unit is under the stairs and accessed from the garage

Floor plan was designed for a lake view and is suitable for use as a vacation home

ATTACHMENT G





MINUTES

Community Planning Advisory Committee

Wednesday, December 7, 2022 at 7:00 p.m.
City Hall Council Chambers, 410 Espanade

PRESENT: Chair - Jason Harrison; Members – Abbas Farahbakhsh, Tamara Hutchinson, Jason Robertson; Council Liaison – Marsh Stevens; Director of Development Services – Jake Belobaba; Planner – Andrew Wilson; Senior Planner/Recorder – Christina Hovey

ABSENT: Members – Brian Childs, Steve Frankel, Jennifer Sibbald

GUESTS: Applicants - Colin Blake and Andrea Blake (File No. 3060-22-05), Nigel Gray and Cara MacDonald (File No. 3060-22-02)

Jason Harrison called the meeting to order at 7:04 PM, acknowledging with gratitude that Ladysmith is located on the traditional unceded territories of the Stz'uminus First Nation.

1. AGENDA APPROVAL

It was moved, seconded and carried that the Agenda of December 7, 2022 Community Planning Advisory Committee meeting be approved.

2. ADOPTION OF MINUTES

It was moved, seconded and carried that the Minutes of November 2, 2022 Community Planning Advisory Committee meeting be approved.

3. NEW BUSINESS

None.

4. COUNCIL REFERRALS

a. Zoning Bylaw Amendment 3360-22-05 – 1141 Cloke Road

Planner Andrew Wilson provided an overview of the proposal for a coach house. Committee members asked about whether the neighbours were aware of the proposal. The applicant has spoken to the neighbours and doesn't believe the proposal will impact privacy due to the siting and existing vegetation. The applicant confirmed that the main storey would not be used as a second rental unit and that there is no creek on the property. Committee members noted that the proposal would add a new residential rental unit and that the neighbourhood is relatively low density.

It was moved, seconded and carried that the Community Planning Advisory Committee recommends that Council approve Zoning Bylaw Amendment 3360-22-05 (1141 Cloke Road) as presented.

b. Zoning Bylaw Amendment 3360-22-02 – 1132-1142 Rocky Creek Road

The applicant provided a brief overview of the proposal to construct a gas station, cardlock and convenience store (Co-op). The applicant confirmed that the lots would be consolidated and that there could not be access from the highway due to the grade. The applicant did not know the plans for the existing Co-op cardlock on Ludlow Road and gas station at the Coronation Mall but will look into it before the file is presented to Council.

The applicant noted that members of the public (such as people who fish) can apply to use the cardlock which is open 24 hours a day.

Committee members noted that a convenience store would be useful for the new residential community planned for Rocky Creek Road. Committee members noted that the view from the highway is important for people entering and leaving Town and that trees have been removed as these properties have developed. The applicant noted that the existing trees on the property are not suitable for retention and slope retention is required. The applicant is planning to submit a Development Permit (DP) application following consideration by Council of 1st and 2nd reading for the requested bylaw amendment. The DP application will include site, building, and landscape designs.

It was moved, seconded and carried that the Community Planning Advisory Committee recommends that Council approve Zoning Bylaw Amendment 3360-22-02 (1131-1142 Rocky Creek Road) to allow a retail convenience store, and recommends that Council consider the following:

- **A plan for remediation and reuse of the existing Co-op cardlock site.**
- **The views of the property from the highway and require landscape screening.**
- **Referring the Development Permit application for this proposal back to CPAC.**

5. MONTHLY BRIEFING

The following files, that the Committee previously reviewed, have been to Council since the last meeting:

- Lot B Russell Road (3360-21-03)

6. NEXT MEETING - TBD

No meeting will be scheduled for January 4, 2023.

7. ADJOURNMENT

It was moved, seconded and carried that the meeting be adjourned at 7:55 PM.

Chair (J. Harrison)

RECEIVED:

Corporate Officer (M. O'Halloran)

Minutes of the Parks, Recreation & Culture Advisory Committee
Wednesday, February 15, 2023 at 7:00pm
Frank Jameson Community Centre

COMMITTEE MEMBERS PRESENT:

Lynda Baker, Chair
Colleen Butcher
Geoff Dean
Gordon Filewych
Jacqueline Huard

Bruce Mason
Terri Merritt-Worden
Councillor Duck Paterson
Pamela Walker

STAFF PRESENT:

Chris Barfoot, Lead
Kim Cheang, Minute Taker

REGRETS:

Lucy Partington

**CALL TO ORDER AND
ACKNOWLEDGEMENT**

The meeting was called to order at 7:06pm

The Chair acknowledged with gratitude that the meeting was taking place on the traditional, unceded territory of the Stz'uminus First Nation.

AGENDA

2023-05:

That the Parks, Recreation & Culture Advisory Committee approve the agenda for the meeting as presented.

Motion Carried.

MINUTES

2023-06:

That the Parks, Recreation & Culture Advisory Committee approve the minutes of the January 18, 2023 meeting as presented.

Motion Carried

NEW BUSINESS

Meeting time

Continue to meet at 7:00pm.

OLD BUSINESS

Park Implementation Plan – Review Proposed Phases and Community Engagement

The Committee reviewed and provided feedback regarding the proposed phases of the Park Implementation Plan.

PRC staff will provide a presentable package at the next meeting.

Civic Recognition Program

The Committee provided feedback regarding the award categories, nomination form and the civic recognition process.

PRC staff will return with a draft set of criteria to assess the nominations based on the type of Civic Recognition Programs offered.

PRC UPDATE

PRC Department Update

C. Barfoot provided a department update.

NEXT MEETING

7:00pm on Wednesday, March 15, 2023 at FJCC.

ADJOURNMENT

2023-07:

That the Parks, Recreation & Culture Advisory Committee adjourn this meeting at 8:28pm.

Motion Carried

STAFF REPORT TO COUNCIL

Report Prepared By: Camelia Copp, Revenue Accountant
Report Approve by: Erin Anderson, Director of Financial Services
Meeting Date: March 7, 2023
File No: 1820-01
RE: **Adjustment to Water Billing Account – 2022, Q4**

RECOMMENDATION:

That Council provide a bill adjustment in the amount of \$3,014.35 to billing Account No. 000-0518000-000 due to a water leak.

EXECUTIVE SUMMARY:

The purpose of this staff report is to present to Council a request for a water bill adjustment due to a water leak over \$3,000. Property owners repaired the leak on their property within the required 45 days. As the dollar amount of the adjustment is greater than the \$3,000 authorized by the Director of Finance, further approval by Council is necessary to adjust the billing amount.

PREVIOUS COUNCIL DIRECTION:

In 2017, Council amended “Waterworks Regulation Bylaw 1999, No. 1298” as follows:

39(3) Where any account is rendered pursuant to this section, the Director of Finance, in estimating the account, shall consider previous billing periods when such meter was registering correctly, seasonal variations, changes in occupancy, and any other factors which, in the opinion of the Director, may affect the consumption of water. The maximum adjustment amount is \$3,000 per account.

INTRODUCTION/BACKGROUND:

Water billing adjustments due to water breaks or leaks are permitted under Waterworks Regulation Bylaw 1999, No. 1298. The adjustments are calculated using the consumption during the same period in the previous year as the baseline consumption.

Property owners are to repair the leak on their property within 45 days of the high consumption notification. The notification could be in the form of a notice placed at the property during the meter reading, a letter sent from the Town or the utility bill. Property owners can apply for one leak adjustment within a ten-year period.

Account No. 000-0518000-000 was notified by Town staff on December 29, 2022 of a higher than usual meter reading. The leak was repaired January 4, 2023.

ALTERNATIVES:

Council can choose to:

1. Not provide an adjustment to the water billing account.
2. Provide a partial adjustment for Account No. 000-0518000-000 for a different amount.
3. Increase the threshold amount delegated to staff.

FINANCIAL IMPLICATIONS:

Adjustments to water billing accounts affect the water revenues.

In 2022, there were 35 adjustments due to service connection breaks, irrigation system leaks or unexplained consumption, ranging from \$101.60 to \$3,738.23 with the average adjustment amount \$954.41.

LEGAL IMPLICATIONS:

N/A

CITIZEN/PUBLIC RELATIONS IMPLICATIONS:

Citizens are encouraged to repair any water leak quickly when it is discovered. The incentive of a potential adjustment supports repairs made in a timely manner.

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS:

The Public Works Utilities Department is involved in reading the meters, notifying property owners of high consumption and monitoring consumption until it returns to a normal range. Finance calculates the billing and any subsequent adjustments.

ALIGNMENT WITH SUSTAINABILITY VISIONING REPORT:

- | | |
|--|--|
| <input type="checkbox"/> Complete Community Land Use | <input type="checkbox"/> Low Impact Transportation |
| <input type="checkbox"/> Green Buildings | <input type="checkbox"/> Multi-Use Landscapes |
| <input type="checkbox"/> Innovative Infrastructure | <input type="checkbox"/> Local Food Systems |
| <input type="checkbox"/> Healthy Community | <input type="checkbox"/> Local, Diverse Economy |
| <input checked="" type="checkbox"/> Not Applicable | |

ALIGNMENT WITH STRATEGIC PRIORITIES:

- | | |
|---|--|
| <input type="checkbox"/> Infrastructure | <input type="checkbox"/> Economy |
| <input type="checkbox"/> Community | <input checked="" type="checkbox"/> Not Applicable |
| <input type="checkbox"/> Waterfront | |

I approve the report and recommendation.

Allison McCarrick, Chief Administrative Officer

STAFF REPORT TO COUNCIL

Report Prepared By: Ryan Bouma, Director of Infrastructure Services
Reviewed By: Allison McCarrick, Chief Administrative Officer
Meeting Date: March 7, 2023
File No:
Re: **Stocking Dam Emergency Level 1 Status**

RECOMMENDATION:

That Council:

1. Receive the staff report, BC Dam Safety letter, and Ecora Engineering and Resource Group Ltd. Report regarding the Stocking Dam Emergency Level 1 status;
2. Direct staff to include in the 2023-2027 Financial Plan funds in the amount of \$100,000 to execute the Ecora recommendations, with the additional funding to come from a cost-share with the CVRD for \$50,000, carryforward funding of \$21,696 and an additional \$28,304 to come from the water reserves; and
3. Waive the Town's Purchasing Policy and direct award construction of all works associated with the Ecora repair work to David Stalker Excavating Ltd.

EXECUTIVE SUMMARY:

In early January 2023 staff observed increased seepage at the toe of the Stocking Lake dam. The detection led to a Level 1 emergency according to the Dam Emergency Plan, and BC Dam Safety was then contacted. The Town engaged Ecora Engineering & Resource Group Ltd. (Ecora) to review the conditions with BC Dam Safety and provide recommendations for inspection and interim repairs. David Stalker Excavating Ltd. (Stalker) has been engaged to assist with initial emergency work repairs.

PREVIOUS COUNCIL DIRECTION:

CS 2022-173	2022-07-05	That Council direct the Mayor, on behalf of Council, to provide a letter of support endorsing the Cowichan Valley Regional District as the lead applicant for grant funding through the SPF Federal/Provincial Community Building Fund - Capital Infrastructure for the Stocking Lake Dam which is jointly owned by the Town of Ladysmith and the CVRD.
CS 2021-319	2021-10-05	That Council: 1. Select Option 2 as the preferred option, outlined in the "Stocking Lake Remediation Conceptual Design" report dated August 2021 as prepared by Ecora; 2. Direct staff to instruct Ecora to complete the preliminary design of Option 2 as outlined in the scope of work for the project; and 3. Instruct staff to investigate funding opportunities that may be available to facilitate the next phase of the project, design and construction.

INTRODUCTION/BACKGROUND:

Staff noted unusual seepage along the toe of Stocking Lake dam in early January 2023, following the snow and heavy rain near the end of 2022. Following a review of the dam on January 13, 2023 it was decided that the seepage was an event that matched Emergency Level 1 of the Dam Emergency Plan. Ecora and BC Dam Safety were notified of the event and an onsite meeting followed shortly after.

Following the onsite meeting, BC Dam Safety confirmed the status of the event as Emergency Level 1 and provided three requirements:

1. Weekly updates until Level 1 emergency is resolved.
2. Written report on the actions taken by the owner to rectify the hazardous conditions and the effectiveness of those actions.
3. Qualified Professional comment/confirmation of the volumes used to calculate dam breach inundation zone for the current dam.

Town staff were required to immediately act on the BC Dam Safety requirements and work towards a suitable remediation. Requirement 1 is ongoing, with 3 updates provided to BC Dam Safety so far. Requirement 2 is partially completed, with additional recommendations received January 24 from Ecora, which are planned to be completed by Stalker.

Some of the remedial actions that have been completed include:

- Excavation of a diversion berm across the crest of the dam;
- Installation of “tell tale” monitoring pins;
- Placing tarps over the downstream face of the dam; and
- Lowering the lake level as much as possible.



Staff received additional remedial recommendations on February 24, 2023 which include:

- filling and compacting the dam toe with free draining rip rap; and
- installing a 6mil polyethylene liner in the spillway (summer work).

Upon completion of the work it is anticipated that the Emergency Level 1 can be resolved and staff can return to normal inspection levels. Additionally, the work should prevent the hazard increasing to Emergency Level 2 or 3, which could include serious measures such as evacuation.

A preliminary design report for replacement of Stocking Dam was received March 2022. The recent Emergency Level 1 event highlights the need to move forward with replacement of the dam without delay.

David Stalker Excavating Ltd was hired to do initial repair work within the existing budget. Staff are requesting that David Stalker Excavating Ltd be permitted to continue with the work.

ALTERNATIVES:

There are limited alternatives as Dam Safety dictates the actions plans. Council could negotiate a different funding model with the CVRD, though the Town actually owns two-thirds of the dam.

FINANCIAL IMPLICATIONS:

It is anticipated that this work will cost approximately \$100,000 with a 50/50 cost share with the CVRD. The Town's portion will be funded from the continuation of Stocking Lake work from 2022 in the amount of \$21,696 and an additional \$28,304 will be required from reserves. There are adequate monies in the water reserve to fund this amount.

LEGAL IMPLICATIONS:

The dam is in Emergency Level 1 and must be repaired to avoid further deterioration of the dam and possible dam failure. The Town cannot be negligent in acting on the recommendations provided.

CITIZEN/PUBLIC RELATIONS IMPLICATIONS:

If the Emergency Level increases to 2 or 3 there could be significant impact on the public, particularly those within the downstream inundation zone.

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS:

N/A

ALIGNMENT WITH SUSTAINABILITY VISIONING REPORT:

- | | |
|--|--|
| <input type="checkbox"/> Complete Community Land Use | <input type="checkbox"/> Low Impact Transportation |
| <input type="checkbox"/> Green Buildings | <input type="checkbox"/> Multi-Use Landscapes |
| <input type="checkbox"/> Innovative Infrastructure | <input type="checkbox"/> Local Food Systems |
| <input type="checkbox"/> Healthy Community | <input type="checkbox"/> Local, Diverse Economy |

☐ Not Applicable

ALIGNMENT WITH STRATEGIC PRIORITIES:

☒ Infrastructure

☐ Community

☐ Waterfront

☐ Economy

☐ Not Applicable

I approve the report and recommendations.

Allison McCarrick, Chief Administrative Officer

ATTACHMENT:

- A. Jan 20, 2023 Letter from BC Dam Safety
- B. Feb 24, 2023 Ecora Report – Stocking Lake Dam – Short Term Remedial Measures



Attachment A

File: D720127 (Stocking Lake Dam)

Cowichan Valley Regional District
175 Ingram Street, Duncan BC
V9L 1N8

Town of Ladysmith
P.O. Box 220, Ladysmith, BC
V9G 1A2

January 20, 2023

Re: Level 1 Emergency at Stocking Lake Dam

To: Town of Ladysmith, Cowichan Valley Regional District. (The owners of Stocking Lake Dam, File D720127-00)

On January 16, 2023 the town of Ladysmith (co-owner of the dam) declared a Level 1 emergency at the Stocking lake dam, this was due to an increase in seepage at the toe of the dam in two distinct locations that was not characteristic (increased volume of seepage overall and new seepage from the right abutment).

The Dam Emergency Plan was activated at Level 1, and a site visit to the dam was conducted on January 17, 2023. Representatives from both dam owners were present (Mike Brown, town of Ladysmith; Todd Etherington, CVRD), as well as the dam owner's Engineer (Michael Laws) and provincial dam safety officers, Dave Johnson, Jeff Grass.

Seepage was observed on both the left and right abutments of the dam. It was noted that the seepage from the left abutment was typical of the dam but had increased in volume up to 100-200ml/second, as reported by municipal staff. Seepage on the right abutment was also noted, this seepage is not typical of the dam, and had a similar flow rate. Please be aware excess/new seepage can quite rapidly move from an emergency Level 1 to a Level 2 or 3.

No sedimentation was observed in the seepage. The downstream embankment was noted to have moderate vegetation growth, making it difficult to assess. The downstream embankment is quite steep, and a tension crack was noted on the downstream edge of the embankment crest, parallel to the dam. Municipal staff present believe this crack to be recent.

The Dam Owners' representatives, Qualified Professional and Ministry Staff agree that this is a Level 1 Emergency that requires increased surveillance and mitigative measures. Additionally, this situation meets the criteria of a hazardous condition, as defined in Section 14 of the Dam Safety Regulation: https://www.bclaws.gov.bc.ca/civix/document/id/complete/statreg/40_2016#section1

I am requesting under Section 14 of the regulation, a written report on the actions taken by the owner to rectify the hazardous conditions and the effectiveness of those actions. Section 14 outlines a 30-day

requirement, but I am asking for a shorter turn-around, given the time of year. I am requesting a weekly email apprising me of the situation, until the Level 1 emergency is resolved.

It is understood by provincial dam safety that daily observations of the seepage and dam are taking place. Quantitative measurements of the reservoir level, seepage rate, and development (if any) of the tension crack are being taken and recorded. These observations are being reviewed by the dam owner's Engineer.

During the on-site visit, options for risk mitigation and the improvement of observations were discussed, including; stockpiling repair materials near the dam, diverting overland flow water from the left abutment, placing stakes to measure any changes in the tension crack, clearing the sediment boxes and putting in place a method to capture any fine sediment for observation. In addition, thought should be given to how the reservoir level could be lowered should the situation escalate.

I have revaluated this dam in the provincial risk level rating system, from a failure probability rating of "4-No Concerns", to a "2B-Caution". If works to correct this hazardous condition are not adequately addressed, the Risk Level will change to "2a – Caution" or "1-Alert".

I have received an updated copy of the Dam Emergency Plan for this dam, thank you.

It is understood that a new dam is proposed for this location, but not known how long it may take to be constructed. I have received the March 2022 Stocking Lake Dam Remediation Preliminary Design-Decora. I note that in that document much larger volumes of water are used to calculate the dam breach parameters than in the current dam safety review.

I would like to receive some comment or confirmation from a qualified professional on the actual impounded volume used in dam breach inundation study to confirm inundation maps are valid for the current structure. It may also be useful to redetermine the downstream consequence rating of this structure.

Deliverables:

- Weekly updates until Level 1 emergency is resolved.
- Written report on the actions taken by the owner to rectify the hazardous conditions and the effectiveness of those actions.
- Qualified Professional comment/confirmation of the volumes used to calculate dam breach inundation zone for the current dam.

Thank you very much, and don't hesitate to contact me with any questions or updates.



Sincerely, Dave Johnson

Licensed Senior Regional Specialist, Water and Dam Safety Ministry of Forests, West Coast

February 24, 2023

Ecora File No.: 230054

The Town of Ladysmith
447 Columbia St.
Kamloops, BC V2C 2T3

Attention: Ryan Bouma, P.Eng.

Reference: Stocking Lake Dam – Short Term Remedial Measures

1. Introduction

Ecora Engineering & Resource Group Ltd. (Ecora) was retained by the Town of Ladysmith (ToL) to provide emergency engineering services with respect to a Level 1 Emergency declared on January 9, 2023 for the Stocking Lake Dam (D720127-00) located near Saltair, BC.

The Level 1 Emergency was declared due to increased seepage discharging observed exiting the downstream face of the dam at the right abutment and softening of the dam embankment material at this location during scheduled dam surveillance conducted by the ToL public works staff. The increased seepage was noted following a period of prolonged precipitation and rapid snow melt during the last week of December 2022.

Michael J. Laws, P.Eng., a Senior Dam Safety Engineer with Ecora undertook an emergency site reconnaissance on January 10, 2023, in conjunction with Ministry of Forests (MoF) Senior Regional Dam Safety Officer David Johnson, MoF Senior Dam Safety Project Manager Jeff Grass, P.Eng. and representatives from the ToL and the Regional District of Cowichan Valley.

During the emergency site reconnaissance, it was also noted that a tension crack had formed along the downstream crest of the dam.

A summary of the dam surveillance observations and climatic conditions leading up to the declaration of the Level 1 Emergency and recommendations for enhanced monitoring and emergency mitigation measures was provided to the ToL in a letter report prepared by Ecora dated February 2, 2023.

It is understood that due to poor historical dam performance it is proposed to replace Stocking Lake Dam with a new structure downstream, however this is anticipated to be at least 5 years away.

The scope of this memo is to provide recommendations for short term remedial measures to address the seepage discharging the downstream face of the dam and the area of instability until such time that the dam is replaced.

2. Proposed Short Term Remedial Measures

As the area of marginal stability along the downstream slope of the dam where the tension crack was observed has been postulated to have occurred due to a combination of rapid snow melt, precipitation and surface storm water runoff originating from the left abutment, it is proposed to construct a rock blanket, incorporating geotextile and a seepage collection pipe, along the downstream face of the dam. The purpose of the rock blanket is to mitigate the seepage exiting the downstream face of the dam at the right abutment and to provide additional stability to the downstream face, until such time as the dam is replaced.

As it is likely that the seepage discharging from the downstream face of the dam at the right abutment is coming from the spillway channel it is also proposed to remove the existing riprap from the channel and install a liner in the

base of the channel. The linear is to comprise a 6 mil PVC membrane placed between two layers of non-woven geotechnical and pinned to the top of the channel banks. Once the linear is installed the riprap would be placed back into the channel.

Details of the proposed short term remedial measures is shown on the attached drawings.

3. Rock Blanket Stability Analysis

3.1 Acceptance

The CDA Technical Bulletin, Geotechnical Consideration for Dam Safety, provides accepted minimum slope stability factors of safety for various static and seismic loading conditions for embankments as reproduced in Table 3.11.a and Table 3.1.b.

Table 3.11.a Acceptable Factors of Safety for Embankment Stability – Static Assessment

Loading Conditions	Minimum Factory of Safety	Slope
End of construction before reservoir filling	1.3	Upstream and downstream
Long-term (steady state seepage, normal reservoir level)	1.5	Downstream
Full or partial rapid drawdown	1.2 to 1.3	Upstream

Table 3.1.b Acceptable Factors of Safety for Embankment Stability – Seismic Assessment

Loading Conditions	Minimum Factory of Safety	Slope
Pseudo-Static	1.0	Upstream and downstream
Post-Earthquake	1.2 to 1.3	Upstream and downstream

3.2 Methodology

Limit Equilibrium (LE) stability analyses were carried out to evaluate the static stability of the downstream face of the dam under existing conditions and incorporating the proposed rock blanket.

Circular (global) factors of safety for the proposed slopes were calculated using the two-dimensional LE analysis program Slide2.0 (version 9.022 by Rocscience) utilizing the Morgenstern-Price method with a half sine interslice force adopted.

The cross-sectional geometry used for the analysis was taken from previous topographical survey data obtained for the conceptual design of the replacement dam (Ecora, 2021), where a critical section in the area of marginal stability was analyzed. In the slope model, the stratigraphy and geotechnical parameters utilized in the analysis was derived from historical boreholes drilled through the embankment.

A coupled two-dimensional steady-state FEA seepage and slope stability back analysis (FoS ~1.0), modelling increased pore water pressure conditions in the downstream face of the embankment during the period of increased snow melt, precipitation, and stormwater runoff, was undertaken to determine pore water conditions to be used in the design of the rock blanket. The increased precipitation and stormwater runoff was modelled with a vertical infiltration boundary condition along the crest and downstream face of the dam.

3.3 Soil Parameters

Geotechnical design parameters used in the analysis are given in Table 3.3 below and have been derived based on the results of the site investigation of the embankment materials previously undertaken by Ecora (2018 & 2021), published data, and Ecora's previous local experience.

The analysis generally assumes that the soil shear strength is governed by the Mohr-Coulomb criteria given by:

$$\tau = c' + \sigma' \tan \phi'$$

Where: τ = Soil Shear Strength;
 c' = Effective Cohesion;
 σ' = Normal Effective Stress; and,
 ϕ' = Effective Angle of Internal Friction.

The riprap rockfill material has been modelled using the Snowden Modified Anisotropic non-linear strength model as discussed in Section 3.4 below.

Table 3.3 Summary of Input Parameters

Material Name	Strength Type	Unit Weight (kN/m ³)	Cohesion (kPa)	Friction Angle (°)
Embankment Fill	Mohr-Coulomb	19	0.5	32
Riprap	Snowden Modified Anisotropic Linear	24	-	-

3.4 Rock Fill Strength

Ecora carried out stability analysis using a non-linear strength model for rock fill materials (Douglas, 2003) where the rock fill strength is dependent on the normal stress (σ_n), fines content, angularity rating, and intact rock Unconfined Compressive Strength (UCS) of the rockfill.

Douglas (2003) established a large database of published and unpublished tri-axial testing undertaken on rock fill and carried out an extensive statistical analysis of the factors affecting its strength.

The database determined that a non-linear relationship exists between the secant friction angle (Φ'_{sec}) of the rock fill and normal stress (σ_n). Based on a non-linear statistical analysis of the database it was determined that the angularity rating, percentage of fines (FINES), coefficient of curvature (cc) and the UCS of the rock fill have the most influence on the Φ'_{sec} with the following equation developed to express the relationship between Φ'_{sec} and σ_n .

$$\Phi'_{\text{sec}} = a + b \sigma_n^c$$

Where:

$$a = 36.43 - 0.267\text{ANG} - 0.172\text{FINES} + 0.756(c_c - 2) + 0.0459(\text{UCS} - 150)$$

$$b = 69.51 + 10.27\text{ANG} + 0.549\text{FINES} - 5.10(c_c - 2) - 0.408(\text{UCS} - 150) - 0.408$$

ANG = (angularity rating - 5) for angularity rating >5.5, otherwise ANG = 0

Based on lower bound parameters for andesitic rockfill comprising an angularity rating of 5, coefficient of curvature of 2, fines content of 5%, and an intact UCS of 35 MPa, a non-linear envelope was developed for the analysis.

3.5 Results

The results of the stability analysis are summarized in Table 3. below. Static slope stability results are presented in Figures 1 and 2.

Ecora recommends that additional slope stability analyses be conducted if any significant change in embankment geometry occurs or if a change in conditions is observed during construction.

Table 3.5 Global Stability Results

Model Scenario	Calculated Static Minimum FoS	Figure
Existing Condition Back Analysis	1.10	1
Rock	1.53	2

4. Geotextile Filter Design

As discussed in Fell et. Al. (2015) geotextiles can be used as filters in smaller dam's provided that they;

- Prevent erosion of soil particles from the base soil they are protecting, i.e. act as a filter,
- Allow drainage of seepage water without significant flow impedance;
- Not clog excessively with particles from the soil they are protecting;
- Be sufficiently strong to resist damage during construction, and;
- Be sufficiently durable to resist adverse ultraviolet light and chemical exposure during construction in service.

Fell et. al. (2015) further discusses that there are many different filter design criteria utilized for geotextiles, however there are two methods broadly used in North America, namely the method described in Luettich et. al. (1992) as recommended by FEMA (2008) and the Federal Highway Administration (FHWA) method (2008).

Ecora utilized the Luettich et. al. (1992) method for determining a suitable geotextile in the construction of the rock fill blanket.

The Luettich et. al. (1992) method provides two design criteria one for steady state (standard drainage and collection systems) flow conditions and the other for dynamic (shoreline and coastal application) flow conditions as decision tree diagrams.

Using the decision tree diagram for steady state flow conditions (Figure 3) and the results of previous laboratory testing undertaken on the embankment fill materials (Ecora 2018 and 2021) the geotextile should have an apparent opening size (O_{95}) of less than 0.226 mm.

5. Construction

5.1 General

The proposed remedial measures shall not be constructed during the spring freshet or any high-volume precipitation event. Prior to commencement of construction of the remedial measures, the lake shall be drawn down approximately 1.0 m from full pool to allow for saturated areas to dewater as practically as possible and to provide a safety buffer in the event that a non-predicted rainfall event occurs during construction. The

Environment Canada weather forecast shall also be consulted prior to commencement of construction to ensure that there are no major periods of rainfall anticipated during construction of the short-term remedial measures.

A typical cross-section and plan view depicting the proposed short-term remedial measures are attached in Appendix B.

5.2 Rock Fill Blanket

The following general considerations shall be undertaken during construction of the proposed rock fill blanket:

- All vegetation and topsoil shall be removed from the footprint of the proposed rock fill blanket;
- All removed vegetation and topsoil shall be disposed away from the dam;
- Any minor hollows should be infilled with a well graded sand and well tamped-in prior to placement of the geotextile;
- The geotextile shall be placed lengthways down the face of the dam (roll direction) with a minimum overlap of 300 mm between adjacent sections.
- The geotextile shall be temporarily pinned to the face of the dam prior to the placement of rock fill; and,
- Placement of rock fill shall not be end-dumped. The rock shall be machine manipulated for satisfactory setting and spacing and placed from the dam toe to crest direction.

5.3 Spillway Channel Liner

The following general considerations shall be undertaken during construction of the proposed spillway channel liner:

- The existing riprap shall be removed from the section of the channel to be lined;
- The base of the channel shall be inspected for pipes, hollows, and voids;
- If any pipe or voids are encountered along the embankment side of the channel these shall be back filled with dry bentonite chips prior to placement of the lower section of geotextile;
- Any minor hollows should be infilled with a well graded sand and well tamped-in prior to placement of the lower section geotextile;
- The geotextile shall be placed lengthways down the spillway channel (roll direction) with a minimum overlap of 500 mm between adjacent sections.
- The lower sections of geotextile shall be temporarily pinned to the spillway channel prior to the placement of PVC liner;
- The PVC liner shall be of sufficient dimension that no joins are required and the top of the liner shall be pinned to the crest of the spillway channel prior to the placement of the upper geotextile;
- The upper section of geotextile shall be pinned to the crest of the spillway channel prior to the placement of the riprap; and,
- The riprap shall not be end-dumped back into the spillway channel and shall be machine manipulated for satisfactory setting and spacing. It should be placed along the channel base first

from an upstream to downstream direction and then along the sides again in an upstream to downstream direction.

5.4 Recommended Materials

The following materials recommended for use in the construction of the remediation works shall consist of the following,

- Free draining rock fill material such as Class 25 to 50 kg riprap that generally conforms to the requirements of Table 205A and 205C of the BC MoTI Standard Specifications for Highway Construction (2020);
- A non-woven geotextile fabric placed on the prepared subgrade soils, underneath the rock blanket and riprap materials with an apparent opening size (O95) of less than 0.226 mm. Based on Ecora's experience with similar armouring designs, a Nilex 4553 (or approved equivalent on the BC MoTI recognized product list) is an acceptable non-woven geotextile filter fabric to be placed at the soil-riprap or rock blanket interface; and'
- A PVC liner (sheet) with a minimum thickness of 6 mil that meets the ASTM-D-5035 and ASTM-D-02261 standards with regards to tear resistance.

Both the riprap and geotextile shall be placed in accordance with the drawings in Appendix B.

6. Limitations of Report

This report and its contents are intended for the sole use of the Town of Ladysmith, their agents and the applicable regulatory authorities. Ecora Engineering & Resource Group Ltd. (Ecora) does not accept any responsibility for the accuracy of any data, analyses, or recommendations contained or referenced in the report when the report is used or relied upon by any Party other than the Town of Ladysmith, their agents, the applicable regulatory authorities or for any Project other than that described in this report. Any such unauthorized use of this report is at the sole risk of the user.

Where Ecora submits both electronic file and hard copy versions of reports, drawings, and other project-related documents, only the signed and/or sealed versions shall be considered final and legally binding. The original signed and/or sealed version archived by Ecora shall be deemed to be the original for the Project. Both electronic file and hard copy versions of Ecora's deliverables shall not, under any circumstances, no matter who owns or uses them, be altered by any party except Ecora.

Ecora's General Conditions are provided in Appendix A of this report.

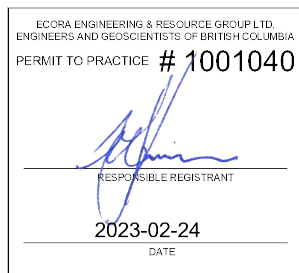
7. Closure

We trust this report meets your requirements. If you have any questions or comments, please contact the undersigned.

Sincerely

Ecora Engineering & Resource Group Ltd.

Prepared & Approved by:



Michael J. Laws, P.Eng.
Senior Geotechnical & Dam Safety Engineer
Direct Line: 250.469.9757 x1045
michael.laws@ecora.ca

Reviewed by:

Adam Kerk-Hecker, P.Eng.
Civil/Hyrotechnical Engineer
Direct Line: 250.718.7858
adam.kerkhecker@ecora.ca

Attachments: Tables
 Figures
 Photos
 Appendix A General Conditions
 Appendix B Drawings

Additional Optional Information:

Version Control and Revision History

Version	Date	Prepared By	Reviewed By	Approved By	Notes/Revisions
0	2023-02-04	MJL	AJK	MJL	Issued for Use

References

BC Ministry of Transportation and Infrastructure, 2020. Standard Specification for Highway Construction.

BC Ministry of Transportation and Infrastructure, January 2023. Recognized Products List.

Canadian Dam Association (CDA), 2007. Dam Safety Guidelines 2013 Edition.

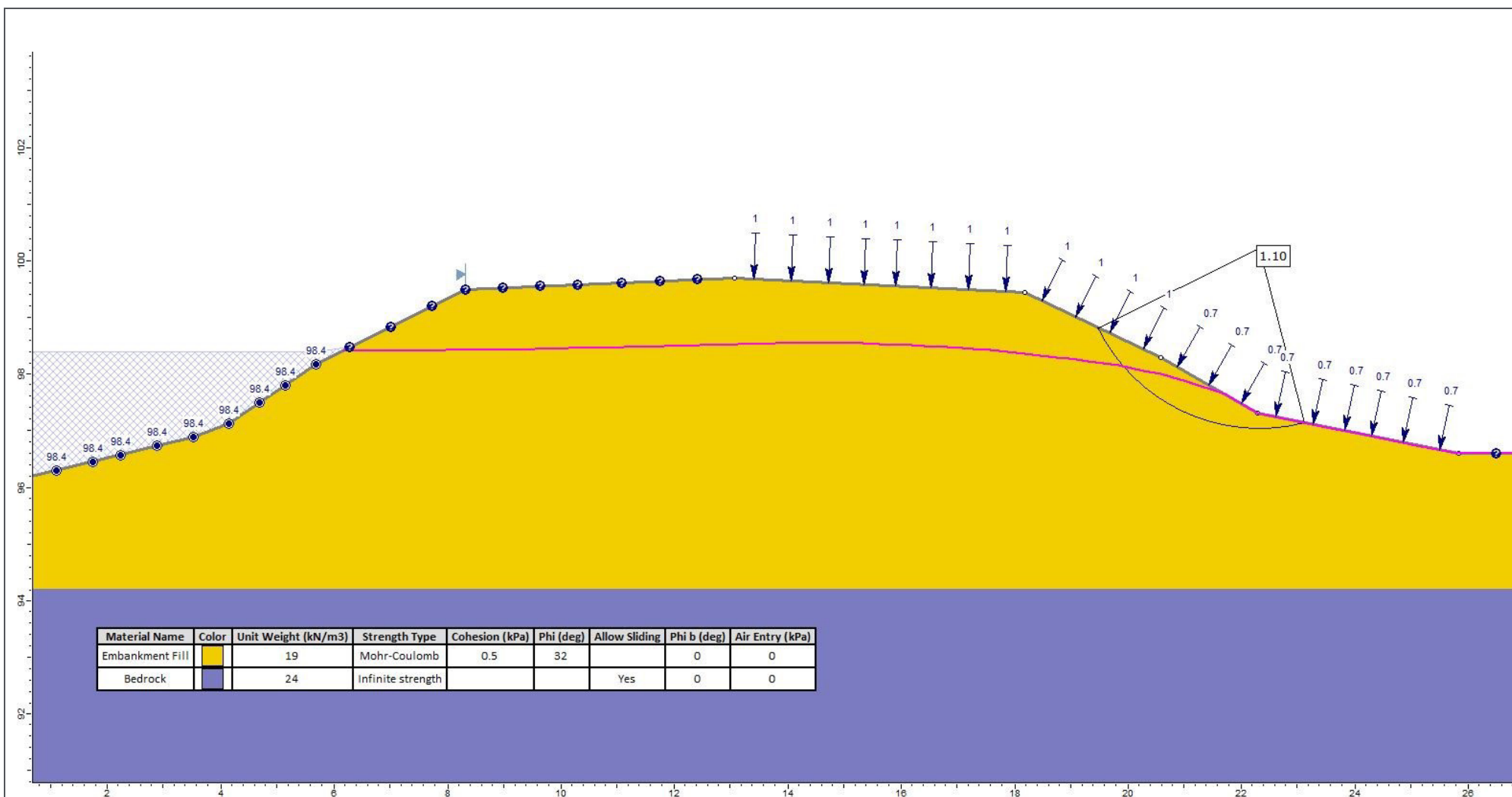
Ecora Engineering & Resource Group Ltd., November 2018. Dam Safety Review and Risk Assessment of Stocking Lake Dam.

Ecora Engineering & Resource Group Ltd., August 2021. Stocking Lake Dam Remediation Conceptual Design.

Fell, R., MacGregor, P., Stapledon, D., Bell, G., and Foster, M., 2018. Geotechnical Engineering of Dams, 2nd Edition.

Figures

- Figure 1` Downstream Slope Stability Analysis – Existing Conditions
- Figure 2` Downstream Slope Stability Analysis – Rock Blanket Addition
- Figure 3` Geotextile Design Selection Based on Steady-State Flow Conditions



Notes:

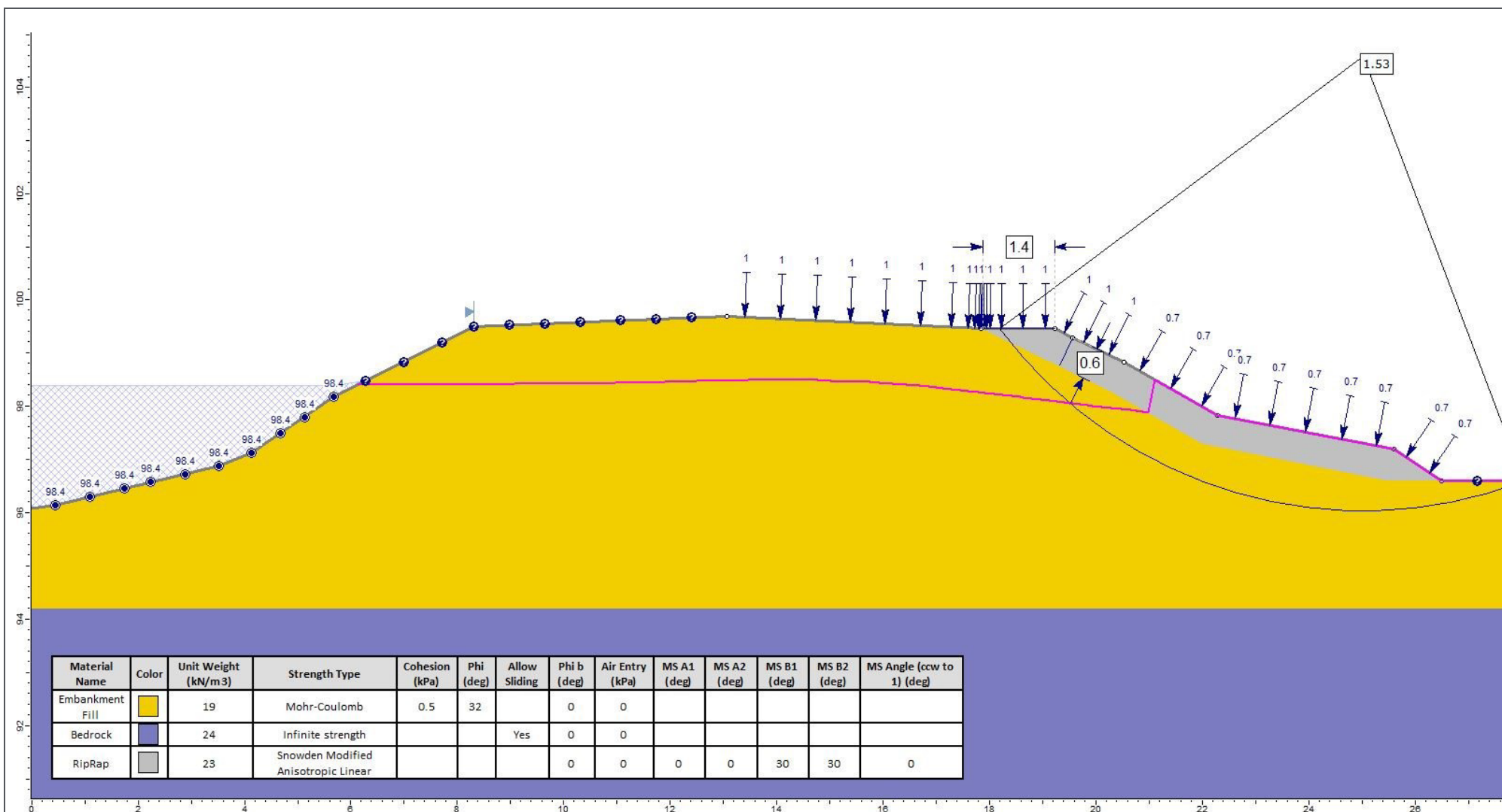
STOCKING LAKE DAM EMERGENCY RESPONSE

Downstream Slope Stability Analysis – Existing Conditions

Project No. 230054
 Client: Town of Ladysmith
 Office: Kelowna
 Scale: NTS
 Date: Feb 09, 2023
 DWN: DA CHK: MJL

ecora

Figure 1.0



Notes:

STOCKING LAKE DAM EMERGENCY RESPONSE

Downstream Slope Stability Analysis – Rock Blanket Addition

Project No. 230054
 Client: Town of Ladysmith
 Office: Kelowna
 Scale: NTS
 Date: Feb 09, 2023
 DWN: DA CHK: MJL

ecora

Figure 2.0

Chart 1. Soil retention criteria of steady-state flow conditions

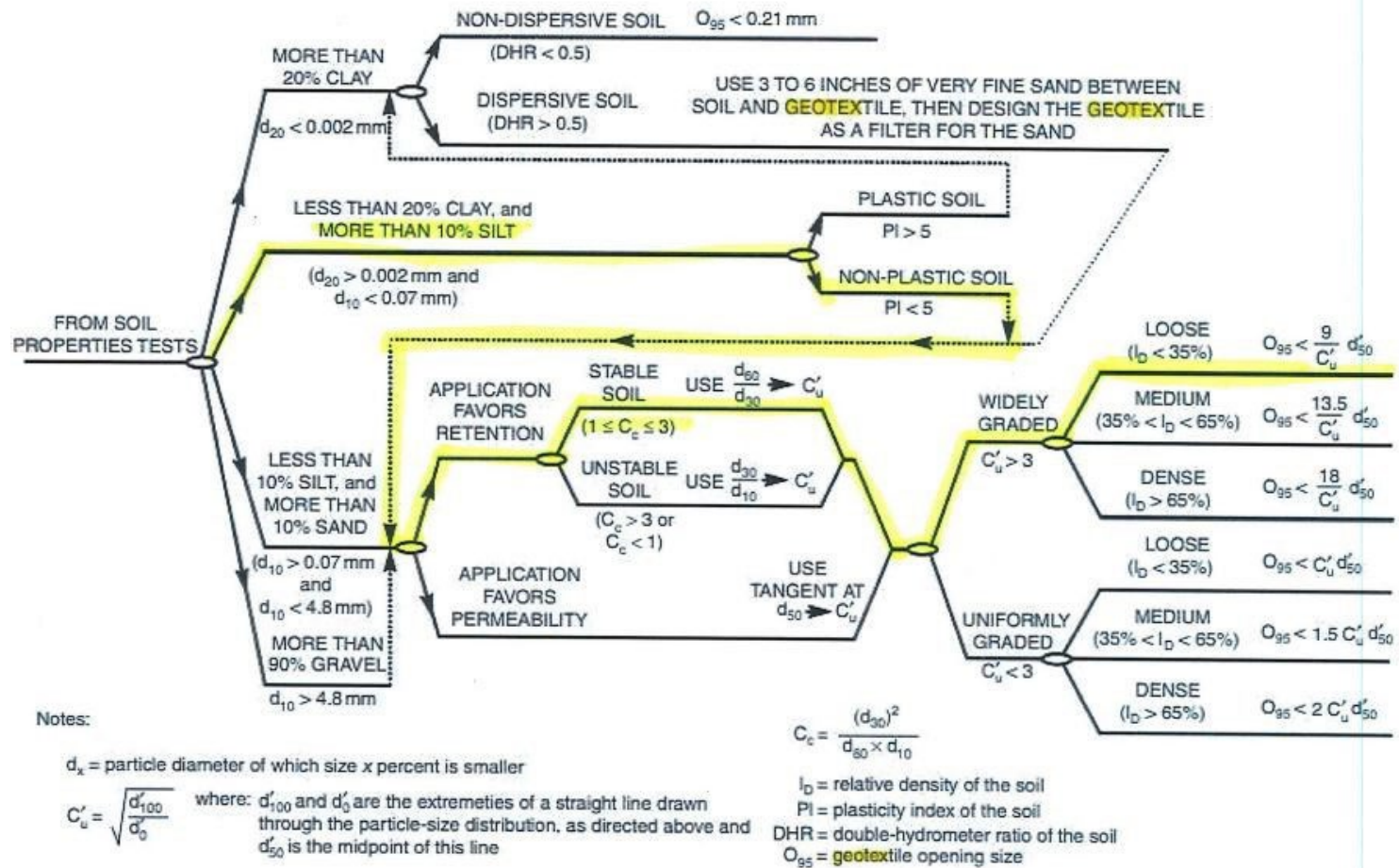


Figure 9.33(a) Soil retention criteria for steady-state flow conditions (Luettich et al., 1992).

Notes:

Soil Retention Criteria chart referenced in Geotechnical Engineering of Dams, 2nd Edition, 2015.

STOCKING LAKE DAM EMERGENCY RESPONSE

Geotextile Design Selection Based on Steady-State Flow Conditions

Project No. 230054
Client: Town of Ladysmith
Office: Kelowna
Scale: NTS
Date: Feb 13, 2023
DWN: DA CHK: MJL

ecora

Figure 3.0

Appendix A

General Conditions

1. Standard of Care

Ecora Engineering and Resource Group Ltd. (Ecora) has prepared this report in a manner consistent with that level of care and skill ordinarily exercised by members of the engineering and science professions currently practicing under similar conditions in the jurisdiction in which the services are provided, subject to the time limits and physical constraints applicable to this report. No other warranty, expressed or implied is made.

2. Basis and Use of the Report

This report and the recommendations contained in it are intended for the sole use of Ecora's Client, their agents and the applicable regulatory authorities. Ecora does not accept any responsibility for the accuracy of any of the data, the analyses or the recommendations contained or referenced in the report when the report is used or relied upon by any party other than Ecora's Client, their agents and the applicable regulatory authorities unless otherwise authorized in writing by Ecora. Any unauthorized use of the report is at the sole risk of the user. In order to properly understand the suggestions, recommendations and opinions expressed herein, reference must be made to the whole of the report. We cannot be responsible for use by any party of portions of the report without reference to the whole report.

This report is subject to copyright and shall not be reproduced either wholly or in part without the prior, written permission of Ecora. Additional copies of the report, if required, may be obtained upon request.

3. Alternate Report Format

Where Ecora submits both electronic file and hard copy versions of reports, drawings and other project-related documents, only the signed and/or sealed versions shall be considered final and legally binding. The original signed and/or sealed version archived by Ecora shall be deemed to be the original for the Project. Both electronic file and hard copy versions of Ecora's deliverables shall not, under any circumstances, no matter who owns or uses them, be altered by any party except Ecora.

4. Soil, Rock and Groundwater Conditions

Classification and identification of soils, rocks and geological units have been based upon commonly accepted systems and methods employed in professional geotechnical practice. This report contains descriptions of the systems and methods used. Classification and identification of the type and condition of these materials or units involves judgment, and boundaries between different soil, rock or geologic types or units may be transitional rather than abrupt. Accordingly, Ecora does not warrant conditions represented herein as exact, but infers accuracy only to the extent that is common in practice.

Soil and groundwater conditions shown in the factual data and described in the report are the observed conditions at the time of their determination or measurement. Unless otherwise noted, those conditions form the basis of the recommendations in the report. Groundwater conditions may vary between and beyond reported locations and can be affected by annual, seasonal and meteorological conditions. The condition of the soil, rock and groundwater may be significantly altered by construction activities such as traffic, excavation, groundwater level lowering, pile driving, blasting on the site or on adjacent sites. Excavation may expose the soils to climatic elements such as freeze/thaw and wet /dry cycles and/or mechanical disturbance which can cause severe deterioration. Unless otherwise indicated the soil must be protected from these changes during construction.

5. Environmental and Regulatory Issues

The professional services retained for this project include only the geotechnical aspects of the subsurface conditions at the site, unless otherwise specifically stated and identified in the report. The presence or implication(s) of possible surface and/or subsurface contamination resulting from previous activities or uses of the site and/or resulting from the introduction onto the site of materials from off-site sources are outside the terms of reference for this project and have not been investigated or addressed.

6. Sample Disposal

Ecora will dispose all soil and rock samples for 30 days following issue of this report. Further storage or transfer of samples can be made at the Client's expense upon written request, otherwise samples will be discarded.

7. Construction Services

During construction, Ecora should be retained to perform sufficient and timely observations of encountered conditions to confirm and document that the subsurface conditions do not materially differ from those interpreted conditions considered in the preparation of Ecora's report and to confirm and document that construction activities do not adversely affect the suggestions, recommendations and opinions contained in Ecora's report. Adequate field review, observation and testing during construction are necessary for Ecora to be able to provide letters of assurance, in accordance with the requirements of many regulatory authorities. In cases where this recommendation is not followed, Ecora's responsibility is limited to interpreting accurately the information encountered at the borehole locations, at the time of their initial determination or measurement during the preparation of the Report.

8. Job Site Safety

Ecora is responsible only for the activities of our employees on the jobsite. The presence of Ecora's personnel on the site shall not be construed in any way to relieve the Client or any contractors on site from their responsibilities for site safety. The Client acknowledges that he, his representatives, contractors or others retain control of the site and that Ecora never occupy a position of control of the site. The Client undertakes to inform Ecora of all hazardous conditions, or other relevant conditions of which the Client is aware. The Client also recognizes that our activities may uncover previously unknown hazardous conditions or materials and that such a discovery may result in the necessity to undertake emergency procedures to protect our employees as well as the public at large and the environment in general.

9. Changed Conditions and Drainage

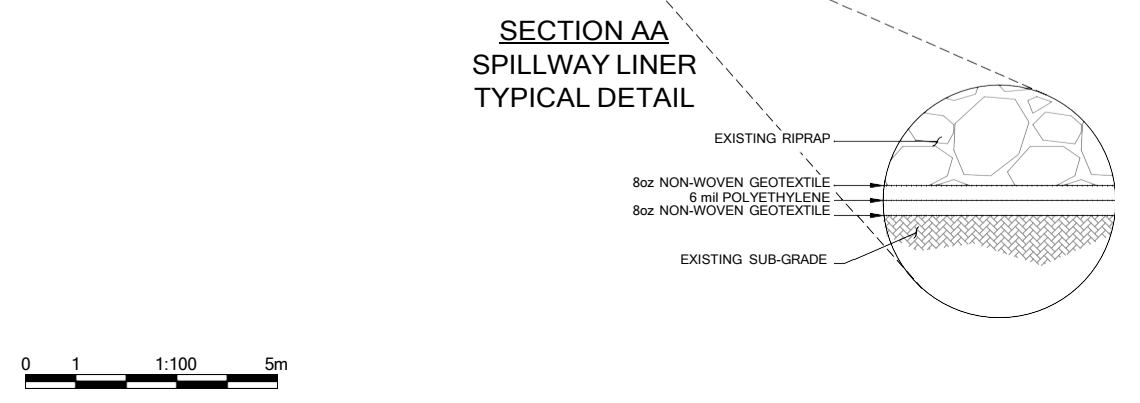
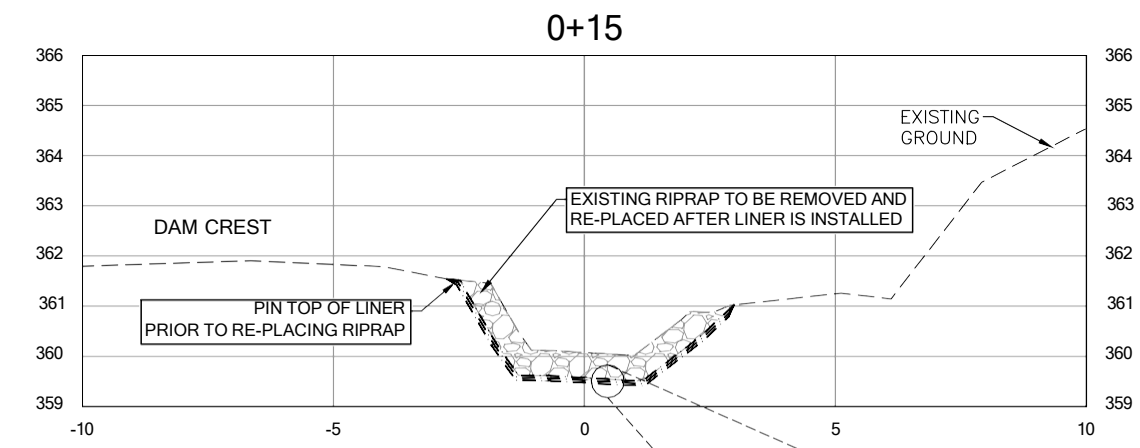
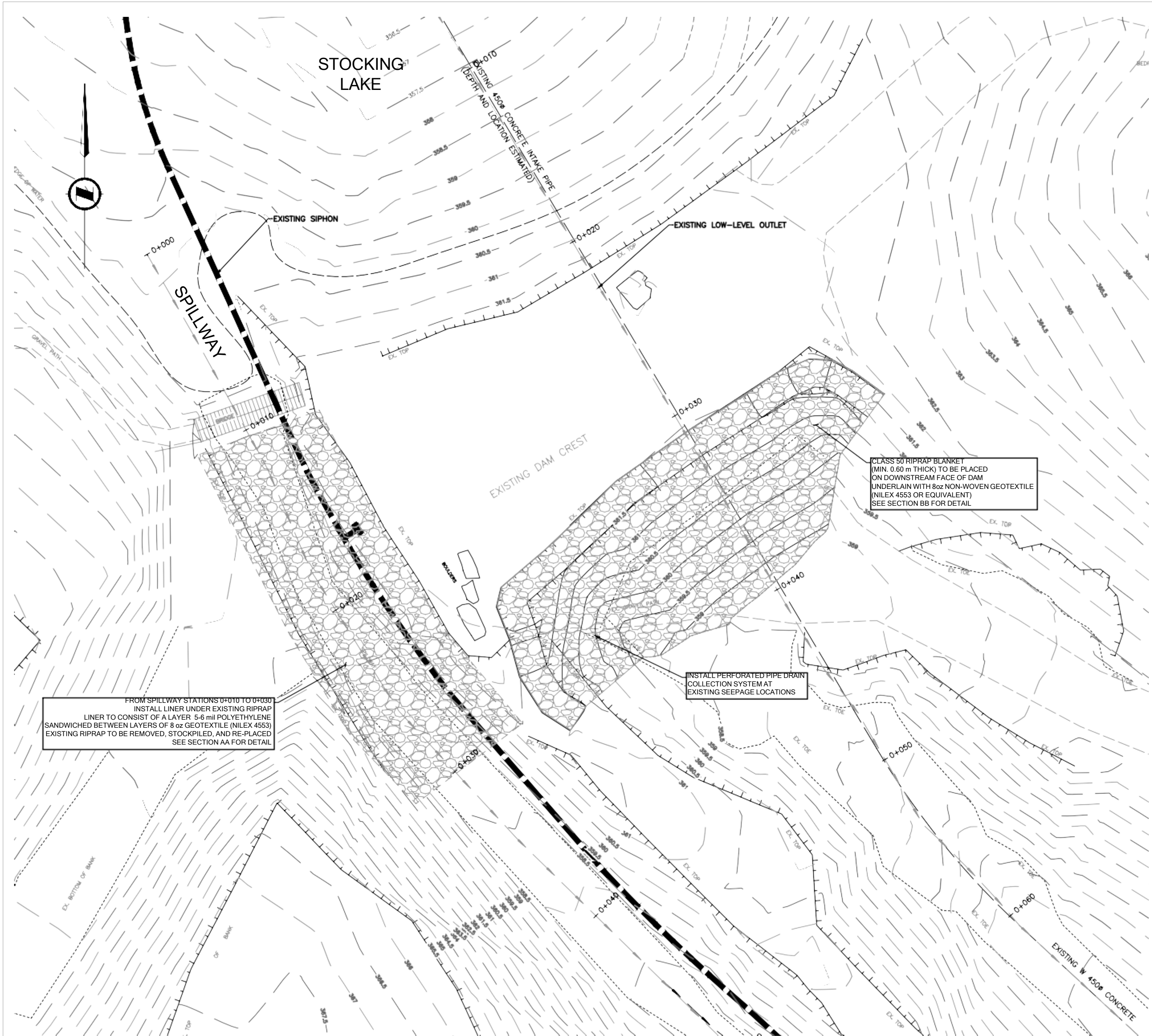
Where conditions encountered at the site differ significantly from those anticipated in this report, either due to natural variability of subsurface conditions or construction activities, it is a condition of this report that Ecora be notified of any changes and be provided with an opportunity to review or revise the recommendations within this report. Recognition of changed soil and rock conditions requires experience and it is recommended that Ecora be employed to visit the site with sufficient frequency to detect if conditions have changed significantly. Drainage of subsurface water is commonly required either for temporary or permanent installations for the project. Improper design or construction of drainage or dewatering can have serious consequences. Ecora takes no responsibility for the effects of drainage unless specifically involved in the detailed design and construction monitoring of the system.

10. Services of Sub consultants and Contractors

The conduct of engineering and environmental studies frequently requires hiring the services of individuals and companies with special expertise and/or services which we do not provide. Ecora may arrange the hiring of these services as a convenience to our Clients. As these services are for the Client's benefit, the Client agrees to hold the Company harmless and to indemnify and defend Ecora from and against all claims arising through such hiring's to the extent that the Client would incur had he hired those services directly. This includes responsibility for payment for services rendered and pursuit of damages for errors, omissions or negligence by those parties in carrying out their work. In particular, these conditions apply to the use of drilling, excavation and laboratory testing services.

Appendix B

Short Term Remedial Works Drawings



FROM SPILLWAY STATIONS 0+010 TO 0+030
INSTALL LINER UNDER EXISTING RIPRAP
LINER TO CONSIST OF A LAYER 5-6 mil POLYETHYLENE
SANDWICHED BETWEEN LAYERS OF 8 oz GEOTEXTILE (NILEX 4553)
EXISTING RIPRAP TO BE REMOVED, STOCKPILED, AND RE-PLACED
SEE SECTION AA FOR DETAIL

CLASS 50 RIPRAP BLANKET
(MIN. 0.60 m THICK) TO BE PLACED
ON DOWNSTREAM FACE OF DAM
UNDERLAIN WITH 8oz NON-WOVEN GEOTEXTILE
(NILEX 4553 OR EQUIVALENT)
SEE SECTION BB FOR DETAIL

INSTALL PERFORATED PIPE DRAIN
COLLECTION SYSTEM AT
EXISTING SEEPAGE LOCATIONS

LEGEND STREAM BoB ToB EDGE OF PATH	GEOGRAPHIC PROJECTION AND DATUM: UTM NAD83 ZONE 10N				
	VERTICAL DATUM: HT V2.0 (2010) - REFERENCE CGVD08				
	B	20230224	AJK	ISSUED FOR REVIEW	MJL
	A	20230210	AJK	ISSUED FOR REVIEW	MJL
	NO.	DATE (YY/MM/DD)	DRN	REVISION	CHKD

200 - 2045 ENTERPRISE WAY, KELOWNA, B.C.
V1Y 9T5
PHONE: 250-469-9757
www.ecora.ca

Page 117 of 216

DESIGN: MJL
DRAWN: AJK
CHECKED: MJL
DATE: 20230210
SCALE: 1:100

TOWN OF LADYSMITH
STOCKING LAKE DAM
EMERGENCY REPAIRS
SITE PLAN & TYPICAL DETAILS

Original Drawing Size ISO full bleed A1 (594.00 x 841.00 MM)	
Drawing No. 230054_G1.0	Rev.No A

STAFF REPORT TO COUNCIL

Report Prepared By: Chris Barfoot, Director Parks, Recreation & Culture
Lynda Baker, Chair Public Art Task Group
Reviewed By: Allison McCarrick, Chief Administrative Officer
Meeting Date: March 7, 2023
File No: 7710-20
Re: **2023 Community Public Art Banner Selection**

RECOMMENDATION:

That Council:

1. Approve the recommendations of the Public Art Task Group for the 2023 Community Public Art Banner Program to produce banners based on the following submissions:
 - a. Come Sing with Me – Karen Tchamourian
 - b. Come Play with Me – Karen Tchamourian
2. Direct staff to proceed with ordering and installing the banners as previously approved by Council.

EXECUTIVE SUMMARY:

The purpose of the Community Banner Program is beautification and the promotion of a community identity. Community banners add vibrancy and community spirit throughout Ladysmith and will represent Ladysmith's small-town charm, coastal community life and diverse cultural heritage. The 2023 Public Art Task Group has reviewed designs from 8 artists. A total of 21 designs were submitted for review with 3 designs not meeting the criteria. The Public Art Task Group's recommendations and images of the designs are presented in Attachment A of this report.

PREVIOUS COUNCIL DIRECTION:

Resolution	Meeting Date	Resolution Details
CS 2022-257	2022-10-25	That Council approve the theme "Connecting Ladysmith Through the Arts" for the 2023 Community Public Art Banner Program.

INTRODUCTION/BACKGROUND:

A total of 21 different designs by 10 artists were submitted by the January 24th, 2023

deadline, with 3 of the designs not meeting the required criteria. On February 16th, 2023 members of the banner selection panel met to review and select the design to be displayed. The selection panel consisted of:

- Lynda Baker - Facilitator, PATG Chair
- Kathy Holmes – PATG member
- Brianne MacTier– Community Representative
- Gordan Filewych –Representative of the Design Community
- Inez Braz – Representative of the Artist Community

The banner selection panel assessed the entries, considering each design’s artistic merit, its exemplification of the theme “Connecting Ladysmith Through the Arts”, and its representation of Ladysmith’s small-town charm, coastal community life and diverse cultural heritage. The theme “Connecting Ladysmith Through the Arts” highlights the important role the arts play in Ladysmith’s ability to connect people, and to honour the cultures and diverse heritage of its citizens. The selected banner design best captured the theme and triggered an emotional response through its description and connection to Ladysmith.

Banner Descriptions

Come Sing with Me – This design represents how something as simple as a song can bring a community together. She sings. People gather. Some dance; some sing along. All together; enjoying the beautiful day; everyone is welcome.

Come Play with Me – As she sings, someone joins in to make a tune. People clap to add to the magic of the music in the park. More dance; more sing along. All together; enjoy the beautiful day; everyone is welcome.

There are approximately 160 banners throughout Ladysmith’s downtown core and Transfer Beach Boulevard. Each year, banners are displayed from May to October.

ALTERNATIVES:

Council can choose to not approve the recommended banner design for display at this time.

FINANCIAL IMPLICATIONS:

If approved, the banner design will move to the production phase of the program, with costs included in the Community Banner Program Budget.

LEGAL IMPLICATIONS:

N/A

CITIZEN/PUBLIC RELATIONS IMPLICATIONS:

N/A

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS:

The Community Banners are installed by Infrastructure Services.

ALIGNMENT WITH SUSTAINABILITY VISIONING REPORT:

- | | |
|---|--|
| <input type="checkbox"/> Complete Community Land Use | <input type="checkbox"/> Low Impact Transportation |
| <input type="checkbox"/> Green Buildings | <input type="checkbox"/> Multi-Use Landscapes |
| <input type="checkbox"/> Innovative Infrastructure | <input type="checkbox"/> Local Food Systems |
| <input checked="" type="checkbox"/> Healthy Community | <input type="checkbox"/> Local, Diverse Economy |
| <input type="checkbox"/> Not Applicable | |

ALIGNMENT WITH STRATEGIC PRIORITIES:

- | | |
|---|---|
| <input type="checkbox"/> Infrastructure | <input type="checkbox"/> Economy |
| <input checked="" type="checkbox"/> Community | <input type="checkbox"/> Not Applicable |
| <input type="checkbox"/> Waterfront | |

I approve the report and recommendations.

Allison McCarrick, Chief Administrative Officer

ATTACHMENTS:

- A. 2023 Public Art Banner Recommendation

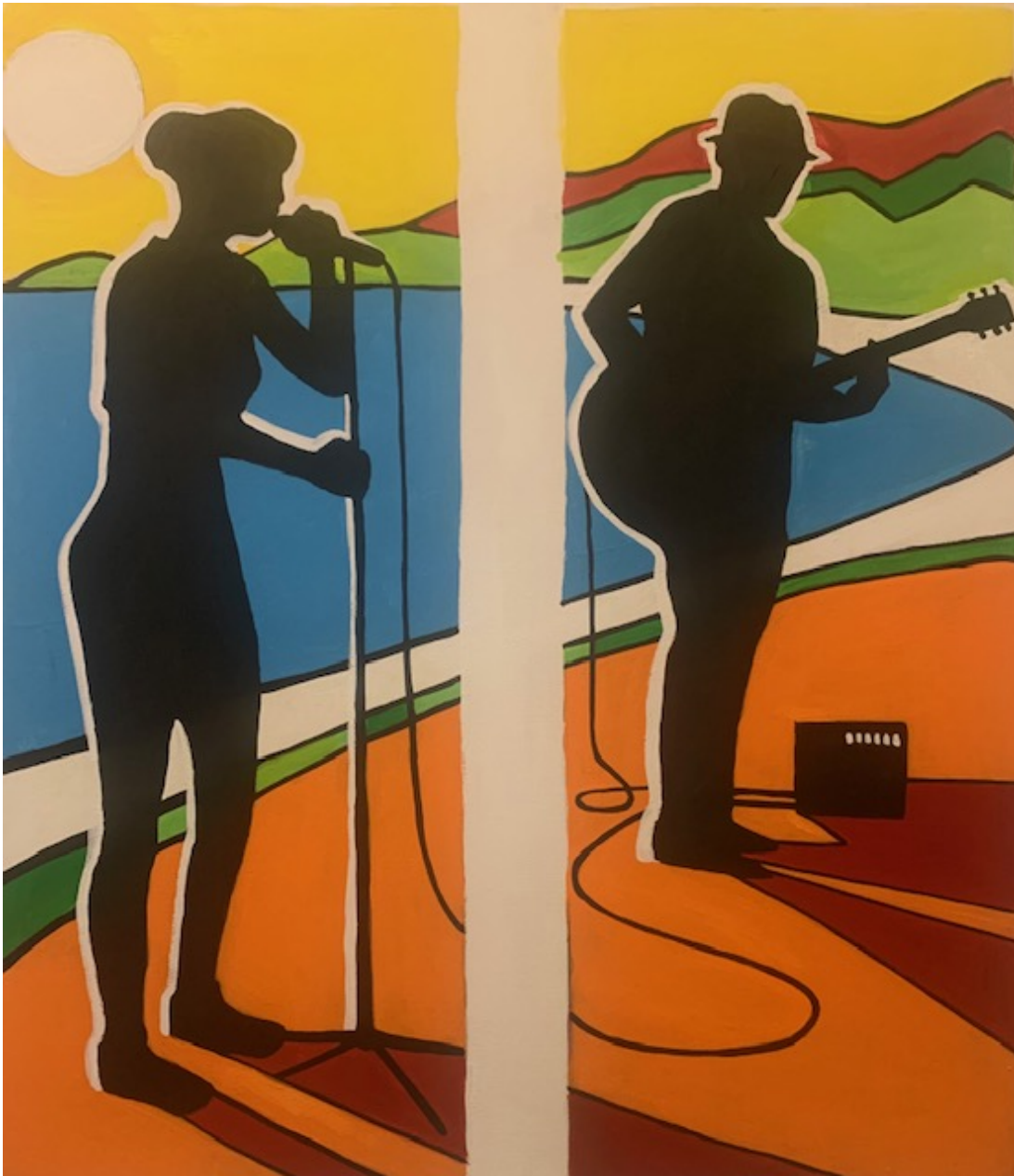
**Community Banner Program –
Public Art Banner
2023 Entry Form**
Theme: “Connecting Ladysmith Through the Arts”

First Name	Karen
Last Name	Tchamourian
Email Address	
Phone Number	
Phone Number	
Address	
Title of Panel 1	Come Sing with Me
Description (How does your design reflect the theme)	This design represents how something as simple as a song can bring a community together. She sings. People gather. Some dance; some sing along. All together; enjoying the beautiful day; everyone is welcome
Title of Panel 2	Come Play with Me
Description (How does your design reflect the theme)	As she sings, someone joins in to make a tune. People clap to add to the magic of the music in the park. More dance; more sing along. All together, enjoy the beautiful day; everyone is welcome.

Tell us about your art (your history of making art, a link to your website if you have one, and why you wanted to apply).

My name is Karen Tchamourian. I have always drawn. It was my mother's father, my Dido, who taught me as a child how to draw. We would sit and draw pictures for each other to color. He would say, "does that look like an eye? Look at the shape and draw it." And so I did. I took painting classes when I was 13. Then in CEGEP in Montreal I took a semester. Life then brought me to the island and I have lived in Nanaimo ever since with my husband; two sons and now two grandsons!

I have always admired the banners. We drive to see who has won each year. We make trips so I can sit and gaze at them. I think of what must have inspired the artist. I admire their ability to create a message. Many years ago a friend said my art could be up on the banner. I presumed it was for professional artists. He said no, you can enter and I have entered ever since. To inspire or have the community gaze at your art would be a great achievement.



STAFF REPORT TO COUNCIL

Report Prepared By: Matt O'Halloran, Manager of Corporate Services
Reviewed By: Allison McCarrick, Chief Administrative Officer
Meeting Date: March 7, 2023
File No:
Re: Accessible BC Act – Consideration of a Joint Accessibility Committee

RECOMMENDATION:

That Council:

1. Direct staff to continue discussions with the Municipality of North Cowichan, the Cowichan Valley Regional District, the City of Duncan, and the Town of Lake Cowichan regarding the feasibility of a joint Accessibility Committee; and
2. Direct staff to report back in April with a recommendation to either move forward with a joint Accessibility Committee with partnering jurisdictions, or to establish the Town's own Committee.

EXECUTIVE SUMMARY:

By September 1, 2023, The Town of Ladysmith is required under the *Accessible BC Act* to establish an Accessibility Committee, an Accessibility Plan, and a process to receive public feedback on the Plan. Staff have participated in an informal working group with the Municipality of North Cowichan, the Cowichan Valley Regional District, the City of Duncan, and the Town of Lake Cowichan to discuss the potential for a joint approach in meeting part or all of these requirements. Staff are seeking direction to continue discussions in the short term, and to report back in April with recommendations on moving forward.

PREVIOUS COUNCIL DIRECTION:

N/A

INTRODUCTION/BACKGROUND:

On June 17, 2021, the *Accessible BC Act* came into effect, with requirements for local governments (municipalities and regional districts) to establish the following:

- An Accessibility Committee
- An Accessibility Plan
- A process to receive public feedback on the Accessibility Plan

The purpose of the Accessibility Committee under the *Act* is to assist the organization in

identifying barriers to individuals in the organization or interacting with it, and to advise the organization on how to remove and prevent such barriers.

The deadline to meet the above obligations is September 1, 2023, the first step of which is the establishment of an Accessibility Committee. The *Act* includes the following requirements for the Committee's membership:

- At least half of its members be persons with disabilities or represent a disability-serving organization and who reflect the diversity of persons with disabilities in British Columbia
- At least one member who is an Indigenous person
- The committee as a whole should reflect the diversity of persons in British Columbia
- The committee may include members from inside or outside of Ladysmith's jurisdiction.

In addition to municipalities and regional districts, the following organizations will be required to meet the requirements under the *Act* by September 2023: francophone school districts; independent schools; municipal police departments; post-secondary education institutions; public libraries; and school districts.

The broad requirements to establish a committee with specific outcomes on a particular issue are without close precedent in the modern era in BC. While this challenge would not represent a major undertaking or budget impact for the Town, it has naturally led to discussions on how organizations can work together.

In January, Town staff were invited to meet with staff from the Cowichan Valley Regional District (CVRD), the Municipality of North Cowichan, the City of Duncan, and the Town of Lake Cowichan to discuss the possibility of taking a joint approach to meet the Accessibility requirements. A variety of options were discussed, including the establishment of a joint committee serving multiple local governments, and for partner jurisdictions to potentially look towards the City of Duncan's existing Accessibility Advisory Committee as a template and resource. It was also noted that each local government could decide to establish its own Accessibility Committee to meet the requirements under the *Act*.

Following this discussion, North Cowichan staff brought a report to the Municipality's Regular Committee of the Whole meeting, held February 7, 2023. The following recommendation was carried with no discussion:

"That the Committee of the Whole direct staff to work with the Cowichan Valley Regional District, the City of Duncan, the Towns of Ladysmith and Lake Cowichan to determine what the financial and staff resource implications would be if a joint Cowichan Valley Accessibility Advisory Committee were formed."

Ladysmith staff subsequently agreed to seek direction from Town Council. Upon consideration of this report, Ladysmith is the second local government in the region to review the issue. City of Duncan staff have indicated that recommendations could come forward regarding Duncan's

participation, pending interest from other partners. It has not yet been confirmed whether similar recommendations will go before the Town of Lake Cowichan Council or the CVRD Board.

ANALYSIS:

The Province has confirmed that a joint committee serving multiple local governments is a valid option in meeting the requirement for a committee. It has yet to be confirmed to what extent the additional requirements for an Accessibility Plan and a process to receive feedback from the public can be accomplished on a joint basis.

The majority of local governments in BC are working to establish their own accessibility committees on an individual basis or have already created a committee. However, two examples of relevant joint committees exist on Vancouver Island: the Inter-Municipal Advisory Committee on Disability Issues (Colwood, Esquimalt, Highlands, Langford, Metchosin and Sooke) and the Saanich Peninsula Accessibility Advisory Committee (Central Saanich, North Saanich and Sidney).

Due to the interest from North Cowichan, staff are recommending that discussions continue in the short term. Relevant budgetary, operational, and governance challenges will be reviewed, and staff will bring forward a report in April to recommend either moving forward with a joint approach, or to rule this option out in favor of establishing the Town's own Accessibility Committee. A motion by Council at this time would serve to emphasize the Town's commitment to fulsome discussions with its partners, and to add clarity for a timeline to move forward.

ALTERNATIVES:

Council can choose to:

1. Direct staff to discontinue discussions on the potential for a joint Accessibility Advisory Committee and proceed with a Town of Ladysmith Accessibility Advisory Committee.
2. Provide alternate direction.

FINANCIAL IMPLICATIONS:

N/A

LEGAL IMPLICATIONS:

N/A

CITIZEN/PUBLIC RELATIONS IMPLICATIONS:

Potential stakeholder and membership groups will be reviewed in discussing the options for the Town in moving forward with an Accessibility Committee.

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS:

Staff will review budgetary implications for all options with the Town's Finance Department.

ALIGNMENT WITH SUSTAINABILITY VISIONING REPORT:

- ☐ Complete Community Land Use
- ☐ Green Buildings
- ☒ Innovative Infrastructure
- ☒ Healthy Community
- ☐ Not Applicable

- ☐ Low Impact Transportation
- ☐ Multi-Use Landscapes
- ☐ Local Food Systems
- ☐ Local, Diverse Economy

ALIGNMENT WITH STRATEGIC PRIORITIES:

- ☒ Infrastructure
- ☒ Community
- ☐ Waterfront

- ☐ Economy
- ☐ Not Applicable

I approve the report and recommendations.

Allison McCarrick, Chief Administrative Officer

STAFF REPORT TO COUNCIL

Report Prepared By: Jake Belobaba, Director of Development Services
Reviewed By: Allison McCarrick CAO
Meeting Date: March 7, 2023
File No: 6480-20
Re: **Official Community Plan**

RECOMMENDATION:

That Council:

1. Having considered s. 475 of the *Local Government Act*, and in particular the matters set out in subsections (2)(a) and (b), resolve that, with the exception of the referral required under section 477(3)(b) of the *Local Government Act*, no further consultation is necessary with:
 - a. the board Cowichan Valley Regional District;
 - b. the board of the Regional District of Nanaimo;
 - c. the council of the District of North Cowichan;
 - d. First Nations;
 - e. School District 68; and
 - f. the Provincial and federal governments and their agencies,in connection with "Official Community Plan Bylaw 2022, No. 2200 and the consultation process described in the staff report to Council dated March 7, 2023 has been sufficient in respect to the proposed Official Community Plan.
2. Give second reading, as amended, to "Official Community Plan Bylaw 2022, No. 2200";
3. Consider Bylaw No. 2200 in conjunction with the Financial Plan, Housing Needs Report, Liquid Waste Management Plan, and the Cowichan Valley Regional District Solid Waste Management Plan, pursuant to sections 473(2.1) and 477(3) of the *Local Government Act*;
4. Refer Bylaw No. 2200 to the Agricultural Land Commission, pursuant to section 477(3)(b) of the *Local Government Act*;
5. Direct staff to schedule a public hearing for Bylaw 2200.

EXECUTIVE SUMMARY:

This report presents "Official Community Plan Bylaw 2022, No. 2200"—a new Official

Community Plan (OCP) for the Town—to Council for first reading as amended. The bylaw has been refined to reflect comments received from the public and referral organizations.

PREVIOUS COUNCIL DIRECTION:

Resolution	Meeting Date	Resolution Details
CS 2022-230	2022-09-20	<p>That Council:</p> <ol style="list-style-type: none"> 1. Give first reading to “Official Community Plan Bylaw 2022, No. 2200”; 2. Consider Bylaw No. 2200 in conjunction with the Financial Plan, Housing Needs Report, Liquid Waste Management Plan, and the Cowichan Valley Regional District Solid Waste Management Plan, pursuant to sections 473(2.1) and 477(3) of the Local Government Act; 3. Refer Bylaw No. 2200 to the Agricultural Land Commission, pursuant to section 477(3)(b) of the Local Government Act; and 4. Refer Bylaw No. 2200 to: <ol style="list-style-type: none"> a. Stz’uminus First Nation; b. Cowichan Valley Regional District; c. Regional District of Nanaimo; d. District of North Cowichan; e. Hul’qumi’num Treaty Group; f. Snuneymuxw First Nation; g. Board of Education for School District 68; h. BC Hydro; and i. The Ministry of Transportation and Infrastructure.
CS 2021-248	2021-07-20	<p>That Council:</p> <ol style="list-style-type: none"> 1. Endorse the Official Community Plan engagement strategy shown in Attachment A of the staff report dated July 20, 2021; 2. Having considered s. 475 of the <i>Local Government Act</i>, and in particular the matters set out in subsections (2)(a) and (b), resolve that: <ol style="list-style-type: none"> a. the Town will consult with: <ol style="list-style-type: none"> i. The Board of the Cowichan Valley Regional District, and that consultation will be early and ongoing; ii. The Board of the Regional District of Nanaimo and that consultation will be early but need not be ongoing; iii. The Council of the District of North Cowichan and that consultation will be early but need not be ongoing; iv. The Stz’uminus First Nation and that consultation will be early and ongoing; v. The Hul’qumi’num Treaty Group and that consultation will be early but need not be ongoing; vi. The Snuneymuxw First Nation and that consultation will be early but need not be ongoing; vii. School District 68 and that consultation will be early and ongoing; viii. BC Hydro and that consultation will be early but need not be ongoing; ix. The Ministry of Transportation and Infrastructure and that consultation will

Resolution	Meeting Date	Resolution Details
		<p>be early and ongoing; and</p> <p>x. The Agricultural Land Commission and that consultation will be early and ongoing;</p> <p>b. The consultation process described in the staff report dated July 20, 2021 is sufficient in respect to the proposed Official Community Plan review; and</p> <p>3. Increase the Official Community Plan review project budget by \$87,000 with funds to be allocated from the Canada Community-Building Fund revenues and amend the 2021 budget accordingly.</p>

CS 2020-332	11/17/2020	<p>That Council:</p> <ol style="list-style-type: none"> 1. Approve the Official Community Plan Steering Committee Terms of Reference attached as Appendix A to the report from the Director of Development Services; 2. Approve the Official Community Plan Project Charter attached as Appendix B to the report from the Director of Development Services; 3. Endorse a legal budget of \$7,000 and incidentals budget of \$10,000 for the Official Community Plan Review ; and 4. Direct staff to increase the Official Community Plan Development budget from \$150,000 to \$220,000 with \$200,000 to come from Gas Tax, \$10,283 to come from the OCP Reserve, and \$9,717 to come from General Government Reserves.
CS 2020-320	11/03/2020	<p>That Council adopt the following resolution related to the Official Community Plan Development report presented at the Special Committee of the Whole Meeting held October 27, 2020 Resolution CW 2020-048.</p> <p>That Council endorse a comprehensive review of the existing Official Community Plan using previously completed plans, growth projections and background materials as a foundation with a project budget of \$200,000, excluding legal and incidentals, and an estimated timeline of 18-21 months.</p>
CS 2020-321	11/03/2020	<p>That Council adopt the following resolution related to the Official Community Plan Development report presented at the Special Committee of the Whole Meeting held October 27, 2020 Resolution CW 2020-049.</p> <p>That Council direct staff to bring the proposed Project Charter and Steering Committee Terms of Reference, including amendments to membership numbers and descriptors, consultant selection process and desired level of engagement to the November 17, 2020 Council meeting for Council consideration.</p>
CS 2020-271	09/15/2020	<p>That Council:</p> <ol style="list-style-type: none"> 1. Confirm the kickoff date of February 2021 to commence community engagement for the new Official Community Plan; 2. Approve that the scope for the Official Community Plan review will be comprehensive/new; and 3. Direct staff to schedule a Special Committee of the Whole Meeting for October 2020, dedicated to discussing the Official Community Plan review process.
CW	09/08/2020	That the Committee recommend that Council:

2020-037		<ol style="list-style-type: none"> 1. Confirm the kick-off date of February 2021 to commence community engagement for the new Official Community Plan; 2. Approve that the scope for the Official Community Plan review will be comprehensive/new; and 3. Direct staff to schedule a Special Committee of the Whole Meeting for October 2020 dedicated to discussing the Official Community Plan review process.
----------	--	---

INTRODUCTION/BACKGROUND:

'Ladysmith Unparalleled 2049' kicked off in early 2021 with the aim of creating a new OCP for the Town. A new OCP was drafted following extensive public engagement and research. Highlights of this process include:

- Appointing a Steering Committee representing a broad section of stakeholders.
- An extensive research and conditions analysis component.
- A comparative evaluation of different land use scenarios.
- A greenhouse gas emissions inventory and scenario modelling, followed by the development of a "low carbon pathway" that is reflected throughout the OCP.
- A detailed exploration of active transportation challenges and opportunities, supported by active transportation funding from UBCM.
- A "decolonization in local government workshop" for Members of Council, senior staff, and the consulting team.
- A community-wide visioning, engagement and plan review process which included targeted engagement tailored to the needs of different stakeholder groups, and the challenges of the COVID-19 pandemic, including:
 - online and hard copy surveys;
 - a geospatial crowdsourcing survey activity;
 - an "Ideas Fair" on 1st Avenue;
 - "walkshops" and "bikeshops";
 - virtual workshops; and
 - student activities.

A partial draft of the OCP was initially presented to Council at the June 7, 2022 regular meeting and at a Council workshop on July 5, 2022. The draft then went through several iterations and additions with Council reviewing again on September 6, 2022 and September 20, 2022. At the September 20th meeting, Council gave the bylaw first reading and directed that the OCP be referred to affected consultees pursuant to the requirements of the *Local Government Act*.

The bylaw was referred to the Stz'uminus First Nation, the Cowichan Valley Regional District (CVRD), the Regional District of Nanaimo (RDN), the District of North Cowichan, the Hul'qumi'num Treaty Group, the Snuneymuxw First Nation, the Board of Education for School District 68, BC Hydro and the Ministry of Transportation and Infrastructure (MOTI). Responses were received from The District of North Cowichan (Attachment C),

The Cowichan Valley Regional District (Attachment D), the Agricultural Land Commission (Attachment E), and MOTI (Attachment F). Island Health's Healthy Built Environment Team also provided feedback (Attachment G).

Concurrently with the above-noted referrals, the consultants and staff carried out a public engagement process that included an online survey, an outdoor open house on 1st Avenue and a "Plancake Breakfast" in Aggie Hall. Participation in these events was high (approximately 300 people). Support for the proposed OCP and specific policies was generally high. The engagement summary for Phases 3 and 4 is provided in Attachment H.

PROPOSAL:

Changes have been made to the proposed OCP to reflect stakeholder feedback. The major policies and structure of the OCP remain the same, however the following refinements have been made:

- Policies allowing 8 storeys at Coronation Mall have been changed to only allow 8 stories for developments providing extraordinary benefit aligned with the OCP's top priorities.
- Changes have been made to the introduction text in the green building and affordable housing chapters that speaks to the nexus between green building and affordable housing (i.e. the reduction in housing costs resulting from energy savings).
- The policies requiring bike parking facilities has been made more specific, stipulating the number of lockers and showers required.
- Considerations for agricultural and forestry uses adjacent to the Town boundary have been added as requested by the District of North Cowichan. Definitions requested by the Agricultural Land Commission have been added, as well as "No net loss" and "extraordinary benefit" wording, which aligns with the Agricultural Land Commission's comments about the restrictions on developing in the Agricultural Land Reserve.
- A policy (see 6.23) has been added to support attracting health care professionals to Ladysmith.

- Inspired by Island Health’s comments related to secondary suites and parking,¹ and recent weather events, development permit guidelines pertaining to adequate snow storage have been added. Similarly, infrastructure policies encouraging boulevards (which are used to store snow away from roads and sidewalks) have been added. These policies are intended to free up parking and sidewalk areas to make streets safer and more accessible during snowfall events.
- Additional action items in the OCP have been moved to the implementation section of the OCP to create clearer timelines as to when these projects will be completed.
- Formatting, layout, style, spelling and grammar changes have been made. This includes moving the maps (e.g. land uses, DP Areas, etc.) to OCP schedules so they can be larger and easier to read. Some symbology and formatting changes to the maps have also been made for the same purpose.
- The future land use map and development permit areas map have been updated to reflect recently approved, or in process, OCP amendments. In most cases, these applications had not been approved by Council when the proposed OCP was given first reading. In some, the development had been approved prior to first reading, but only some changes were reflected in the new OCP (e.g. the land use maps was updated but not the development permit area map) Specifically, these maps have been updated to reflect:
 - The development approved by Bylaw 2102 at 1301 Rocky Creek Road.
 - The development approved by Bylaw 2068 at 1130 Rocky Creek Road.
 - The OCP amendment for 1260 Churchill Place approved by Bylaw 2087.
 - The development approved by Bylaw 2060 for 670 Farrell Road.
 - The development approved by Bylaw 2062 for 201/203 Dogwood Drive.
 - The development currently under consideration by Council for Lot 5 in Holland Creek. Bylaw 2106 was given third reading by Council on September 20, 2022 and final consideration is pending completion of conditions.²

¹ Island Health suggested policy considerations to mitigate the impact of on street parking (and related safety issues) from secondary suites. The Town already addresses this issue through zoning provisions requiring additional on-site parking for secondary suites and the new Business Regulations and Licensing (Rental Units) Bylaw.

² It is expected that this bylaw will be eligible for final approval from Council prior to adoption of the new OCP. Amending the proposed OCP renders Bylaw 2016 unnecessary. However, the development proposal also requires rezoning approval, which can be withheld until conditions of approval (e.g. covenants) are met.

Staff are recommending that the updated OCP be given first reading as amended. If given first reading by Council, the proposed OCP must then be referred again to the ALC. Once the referral process is complete, a public hearing for the proposed OCP can be scheduled.

ANALYSIS:

The proposed OCP has been developed with extensive community engagement and thorough analysis of relevant community planning topics (e.g. climate change, housing, reconciliation). The consultants have worked in close collaboration with staff to produce an OCP with practical and achievable goals and policies. The engagement summary in Attachment H shows strong community support for the policies and objectives of the proposed OCP.

The proposed refinements do not significantly alter any established policy directions in the draft OCP, but rather improve upon the original draft to make it more clear, responsive, effective and fair. Staff recommend that Council endorse these amendments and give the proposed OCP second reading as amended.

ALTERNATIVES:

Council can choose to:

1. Deny proposed "Official Community Plan Bylaw 2022, No. 2200".
2. Refer proposed "Official Community Plan Bylaw 2022, No. 2200" back to staff for further review as specified by Council.
3. Reject the proposed amendments and direct staff to schedule a public hearing for "Official Community Plan Bylaw 2022, No. 2200" as originally drafted.
4. Make further amendments to "Official Community Plan Bylaw 2022, No. 2200" and give the bylaw first reading as amended.

FINANCIAL IMPLICATIONS:

Under section 477(3)(i) of the *Local Government Act*, the OCP must be considered in conjunction with the Town's Financial Plan. An analysis of the financial implications of the proposed OCP was provided in the September 20, 2022 report to Council and this analysis is unaffected by the proposed changes to the OCP.

HOUSING IMPLICATIONS (HOUSING NEEDS REPORT):

Under section 473(2.1) of the *Local Government Act* the Town must consider its most recent Housing Needs Report in the preparation and adoption of its OCP. An analysis of the housing implications of the proposed OCP was provided in the September 20, 2022 report to Council and this analysis is unaffected by the proposed changes to the OCP.

SOLID/LIQUID WASTE IMPLICATIONS:

Under section 477(3)(ii) of the *Local Government Act* the OCP must be considered in conjunction with applicable waste management plans. An analysis of the sewer/stormwater implications of the proposed OCP was provided in the September 20, 2022 report to Council and this analysis is unaffected by the proposed changes to the OCP.

LEGAL IMPLICATIONS:

Under section 464, 475, 476 and 477 of the *Local Government Act*, the OCP is subject to special consideration, consultation and adoption procedures which are accounted for in staff's recommendation and analysis herein.

Prior to introduction to Council on September 20, 2022, the proposed OCP was reviewed for compliance with provincial legislation and common law governing OCP's by the Town's lawyer and edited accordingly. As the proposed changes are relatively minor and consistent with the previous legal review, further legal review has not been sought by staff. Should Council wish to have the OCP reviewed again by the Town's lawyer, Council can refer the OCP back to staff in accordance with Alternative 2.

CITIZEN/PUBLIC RELATIONS IMPLICATIONS:

The engagement summary in Attachment H provides a comprehensive summary of public engagement work undertaken since the OCP was first presented to Council. There is strong support for the goals, objectives and policies of the proposed OCP. The proposed amendments to the new OCP are consistent with, and result from, public feedback. A public hearing, and notice of the public hearing, is required prior to adoption of the OCP.

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS:

All Town departments have been involved in the creation of the OCP.

ALIGNMENT WITH SUSTAINABILITY VISIONING REPORT:

The OCP sets a new vision and sustainability policies for the Town. With the adoption of the new OCP, the sustainability and visioning report will be superseded.

ALIGNMENT WITH STRATEGIC PRIORITIES:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Infrastructure | <input checked="" type="checkbox"/> Economy |
| <input checked="" type="checkbox"/> Community | <input type="checkbox"/> Not Applicable |
| <input checked="" type="checkbox"/> Waterfront | |

I approve the report and recommendations.

Allison McCarrick, Chief Administrative Officer

ATTACHMENTS:

- A. "Official Community Plan Bylaw 2022, No. 2200"
- B. First page only of the OCP document. Link to entire OCP document here:
<https://www.ladysmith.ca/ocp-public-engagement>
- C. District of North Cowichan Response
- D. Cowichan Valley Regional District Response
- E. Agricultural Land Commission Response
- F. MOTI Response
- G. Island Health Response
- H. Engagement Summary

TOWN OF LADYSMITH

BYLAW NO. 2200

A bylaw to adopt a new Official Community Plan

The Council of the Town of Ladysmith in open meeting assembled enacts as follows:

1. "Ladysmith Unparalleled" included as Schedule "A", attached to and forming part of this Bylaw is hereby adopted pursuant to section 472(1) of the *Local Government Act*, as the Town of Ladysmith's Official Community Plan.
2. "Official Community Plan Bylaw 2003, No. 1488", and all amendments thereto, are hereby repealed.

Citation

3. This Bylaw may be cited for all purposes as "Official Community Plan Bylaw 2022, No. 2200".

READ A FIRST TIME on the 20th day of September, 2022

READ A SECOND TIME AS AMENDED on the _____ day of _____, 2022

PUBLIC HEARING HELD on the _____ day of _____, 2022

READ A THIRD TIME on the _____ day of _____, 2022

ADOPTED on the _____ day of _____, 2022

Mayor (A. Stone)

Corporate Officer (M. O'Halloran)

Attachment A

Official Community Plan Bylaw 2022, No. 2200
Page 2

SCHEDULE A

Link to “Ladysmith Unparalleled” Official Community Plan:

<https://www.ladysmith.ca/city-hall/currentprojects/ocpcommunityengagement>



LADYSMITH

Attachment B
UNPARALLELED

OFFICIAL COMMUNITY PLAN

Schedule 'A' to
Official Community Plan Bylaw
2022, No. 2200

December 19, 2022

Allison McCarrick
Chief Administrative Officer
410 Esplanade
PO Box 2220
Town of Ladysmith, BC V9G 1A2

via email: AMcCarrick@ladysmith.ca

Dear Allison McCarrick

Re: Town of Ladysmith Official Community Plan

At it's December 7, 2022, Council meeting, the following resolution was passed:

THAT Council authorize the Mayor to draft a letter advising the Town of Ladysmith that the Municipality of North Cowichan:

- (a) does not have any significant concerns relating to the Town of Ladysmith's proposed Official Community Plan, as at first reading; and,
- (b) recommends that the Town of Ladysmith consider potential future agricultural or forestry land uses taking place within the North Cowichan area immediately adjacent to the proposed "Urban Reserve" designation to avoid potential conflicts.

Sincerely



Rob Douglas
Mayor

mayor@northcowichan.ca

cc: Jake Belobaba, Director of Development Services, Town of Ladysmith
Rob Conway, Director, Building & Planning, North Cowichan
North Cowichan Council
Ted Swabey, Chief Administrative Officer, North Cowichan



175 Ingram Street
Duncan, BC V9L 1N8
www.cvr.bc.ca

Office: 250.746.2500
Fax: 250.746.2513
Toll Free: 1.800.665.3955

November 24, 2022

CVRD File: 0400-60 TL 2022
Your File: 6480-20

Allison McCarrick
Chief Administrative Officer
Town of Ladysmith
P.O. Box 220
LADYSMITH BC V9G 1A2

via email: amccarrick@ladysmith.ca

Dear Ms. McCarrick:

Re: Town of Ladysmith Official Community Plan Review

Thank you for referring the above-noted draft Official Community Plan for the Town of Ladysmith to the Cowichan Valley Regional District (CVRD).

This is to advise you that the CVRD Board of Directors, at the regular meeting of November 23, 2022, passed the following resolution:

"That it be recommended to the Board that the Town of Ladysmith be informed that the interests of the Cowichan Valley Regional District are unaffected by the proposed Official Community Plan."

Yours truly,

Mike Tippett, MRM, RPP, MCIP
Manager, Community Planning Division
Land Use Services Department

MT/lkp

pc: Jake Belobaba, via email: jbelobaba@ladysmith.ca



Agricultural Land Commission
201 – 4940 Canada Way
Burnaby, British Columbia V5G 4K6
Tel: 604 660-7000 | Fax: 604 660-7033

January 12, 2023

ALC Planning Review: 46823

Jake Belobaba
Director of Development Services
Town of Ladysmith
jbelobaba@ladysmith.ca

Re: Town of Ladysmith Draft Official Community Plan Referral

Thank you for forwarding a draft copy of the Town of Ladysmith (the “Town”) Official Community Plan (the “Draft OCP”) for review and comment by the Agricultural Land Commission (the “Commission” or “ALC”).

ALC staff reviewed a previous version of the Draft OCP and provided comments to the Town in a letter dated July 19, 2022. The Town has now referred the revised Draft OCP to the ALC after first reading in accordance with s. 477(3)(b) of the *Local Government Act*.

The following comments are provided to help ensure that the Draft OCP is consistent with the purposes of the *Agricultural Land Commission Act* (ALCA), its regulations, and any decisions of the Commission.

Map 1: Future Land Use (Page 42)

ALC staff appreciate that the revised Draft OCP removes the “Urban Reserve” designation from the Town’s ALR lands, in favour of a new “Agriculture” designation, as recommended in the ALC’s July 19, 2022 letter. This was the main point of inconsistency with the ALCA noted in the initial draft OCP review. Staff appreciate the Town’s attention to this matter.

Staff note that the Town’s ALR lands area entirely within the area comprising the South Ladysmith Area Plan. While the Area Plan does not form part of the OCP referral, ALC staff wish to advise that any development of ALR lands contemplated in the Area Plan must be consistent with the permitted uses of the ALCA and its regulations, unless otherwise approved by the Commission.

2.4 General Land Use Policies – Ecological and Resource Protection (Page 57)

The Town may consider including an urban/rural interface policy in this section, such as:

“Development occurring on lands adjacent to the Agricultural Land Reserve should incorporate urban-side setbacks and buffering as described in Part 3 of the Ministry of Agriculture and Food [Guide to Edge Planning](#).”

Such policies can ensure future urban/rural compatibility by reducing the potential for farm nuisance complaints and impacts to agricultural operations.

Glossary (Page 153)

Since the ALR is depicted on the Town's Future Land Use map, the Town may consider adding a definition of 'Agricultural Land Reserve' in the Glossary to advise the reader of how the ALR designation affects land. ALC staff suggest a definition such as:

"The Agricultural Land Reserve (ALR) is a provincial land use zone that preserves the Province's agricultural land for the future. Land within the ALR is subject to the *Agricultural Land Commission Act* and its regulations, in addition to local bylaws. Agriculture is encouraged and recognized as the priority land use within the ALR, while most non-agricultural development is restricted unless approved by the Provincial Agricultural Land Commission and the local government."

The ALC strives to provide a detailed response to all referrals affecting the ALR; however, you are advised that the lack of a specific response by the ALC to any draft provisions cannot in any way be construed as confirmation regarding the consistency of the submission with the ALCA, the Regulations, or any decisions of the Commission.

This response does not relieve the owner or occupier of the responsibility to comply with applicable Acts, regulations, bylaws of the local government, and decisions and orders of any person or body having jurisdiction over the land under an enactment.

If you have any questions about the above comments, please contact the undersigned at 236-468-3276 or by e-mail at ALC.Referrals@gov.bc.ca

Sincerely,

PROVINCIAL AGRICULTURAL LAND COMMISSION



Mike Bandy, Regional Planner

CC: Ministry of Agriculture and Food – Attention: Reed Bailey

46823m2

From: [Miskulin, James TRAN:EX](#)
To: [Jake Belobaba](#)
Subject: MOTI File 2022-05302, Ladysmith OCP
Date: November 9, 2022 11:26:19 AM

Hi Jake,

The ministry has reviewed the draft OCP provided and provides the following comments:

- The ministry encourages the continued development of local road connections, while utilizing existing intersections at the Trans-Canada Highway.
- The ministry recommends continued development of stormwater infrastructure to minimize impacts to down slope properties including the Trans-Canada Highway.

If you have any questions or would like to discuss further, please let me know.

Thank you,

James Miskulin, BBA, MCPM

He/Him

Development Services Officer

Ministry of Transportation & Infrastructure

Vancouver Island District

james.miskulin@gov.bc.ca

[APPLY FOR PERMIT](#)

[APPLY FOR BCeID](#)

[SUBDIVISION INFORMATION](#)

I recognize and respectfully acknowledge the Snuneymuxw First Nation, on whose traditional territory I live, work, learn and play.

December 1, 2022

Jake Belobaba
Director of Development Services
Town of Ladysmith
132C Roberts St
PO Box 220
Ladysmith, BC V9G 1A2
jbelobaba@ladysmith.ca

Re: Review – Town of Ladysmith Official Community Plan

Thank you for the opportunity to comment on the Town of Ladysmith Official Community Plan.

Overall, the Official Community Plan is very good in its presentation and takes into account many social, climate, economic, and inclusive concepts in urban design that can have profound impacts on health outcomes. Island Health appreciates the opportunity to apply the health lens and provide evidence-based comments for this OCP. Highlights, considerations and recommendations from the healthy built environment as well as the health perspective are itemized below:

Highlights:

Healthy Neighborhood Design

Healthy neighbourhood design has significant positive impact on the health of its residents. Compact, well connected and complete neighbourhoods which incorporate design that allows people to feel safe leads to healthy choices including active modes of transportation, community engagement and pursuing physical activities. Complete, compact neighbourhoods that encourage active transportation can lead to improving physical activity levels, especially in older adults. Regular and adequate physical activity improves health outcomes, reduces the risk of chronic conditions, and helps protect against cognitive decline in older adults. Access to a variety of amenities in proximity to where people live encourages active transportation and lessens the inequity in access to essential services. Proximity and quality of outdoor spaces and shared common indoor spaces encourage social connections to foster a sense of community and belonging. Social connectedness is beneficial to overall health and is linked to improved immune response and psychological well-being.

- Growth management policies 1.1.a. and 1.1.h. prioritizes growth within the urban containment boundary and encourages densification in priority growth areas and strategic infill areas for more compact neighbourhoods.
- Growth management policies 1.1.d and 1.1.g. prioritizes mixed-use development for complete

neighbourhoods that increase proximity to amenities and services.

- Land use policies 2.1.c and 2.4.c. aims to create 10-minute neighbourhoods and supports mixed-use development in areas that are served by transit and pedestrian infrastructure which promotes active transportation.
- Land use policy 2.1.e. to strengthen street life and public places will foster social engagement.
- Land use policy 2.4.a and 2.4.b. limits urban sprawl and focuses new residential development in existing developed areas to lessen the negative impacts of sprawl, such as long commute time and increased stress.

Healthy Transportation

Transportation networks that provide active transportation options, which are accessible for all ages/abilities, incorporate connectivity and are seen as safe by residents are key to their use. Making active transportation options safe and convenient will encourage physical activity and improve health outcomes in mental, physical, emotional well-being including cognitive functioning important in developing brains of youth and children. Convenient, affordable access to public transit can encourage equity by enhancing mobility amongst a wide range of vulnerable groups including children, older adults, women and people with disabilities. Policies highlighted below support active transportation, accessibility and safety for improved health outcomes.

- Land use policy 2.4.q. requires higher intensity developments adequately serviced by active transportation infrastructure.
- Transportation policies 2.2 and 2.3 aim to update street network classifications and fund a mobility plan to guide intersection and corridor design improvements, while prioritizing pedestrian and cycling infrastructure.
- Transportation policies 2.5 and 2.6 support intersection and complete street safety improvements and explore incentive programs to lower cost for low-income residents to facilitate active transportation.
- Transportation policies 2.7, 2.17 and 2.18 to improve bicycle amenities and develop cycling networks to increase uptake of active transportation.
- Transportation policies 2.10 and 2.16 aim to enhance street accessibility to mitigate effects of steep slopes, with rest areas, railing and accessible ramps and incorporate age-friendly walkability/accessibility recommendations for improved access in active transportation modes to all.
- Transportation policies 2.11, 2.13 and 2.14 aim for improvements in access and safety for highway crossings.

- Transportation policy 2.15 prioritizes pedestrian infrastructure improvements for schools, transit stops, downtown and priority growth area.
- Transportation policy 2.36 work with BC Transit and RDN and CVRD for transit improvements

Healthy Natural Environment

Healthy natural environments sustain the essential elements we need to live. Current evidence supports a relationship between biodiversity and improved water quality, soil health and pollination. Protection of biodiversity provides positive impacts on health outcomes. Natural environments also provide space for recreation, physical activity and promotes better mental health. Prioritizing parkland acquisition will preserve/increase greenspace and outdoor recreational places for people to interact with nature and serve as a place for social connections that foster a sense of community belonging. Health evidence shows a strong link between exposure and engagement with nature and the reduction of stress, chronic diseases, depression and anxiety as well as improvements in cognitive functions. Protection of the urban tree canopy can reduce the health impact of heat and offers protection against flooding. Improving access to parks and recreation for all ages and abilities will provide greater opportunity for vulnerable groups to enjoy outer recreation and engage in nature.

- Growth management policy 1.1.b. and land use policy 2.4.x. prioritizes infill development above development into forest and natural areas.
- Land use policy aims to protect natural assets including tree stand, natural features and habitat areas, watercourses and shorelines in new developments.
- Land use policy 2.4.z prohibits development in hazardous and environmentally sensitive areas.
- Parks and open space policies 4.1, 4.2 and 4.3 prioritize parkland acquisition in specified meaningful areas, to increase active/outdoor recreation and compatible existing/proposed public venues.
- Parks and open space policy 4.6 to create alignment and improve connections to the Trans Canada Trail.
- Parks and open space policies 4.13, 4.14 and 4.15 consider equity, diversity and inclusion for all residents and types of use.
- Parks and open spaces policies 4.20, 4.21 and 4.24 protect and enhances sensitive ecosystems.

Healthy Food Systems

Healthy food systems support population health by maintaining equitable access to affordable, safe, nutritious and culturally appropriate foods. Policies that enrich the local food knowledge base, preserve food source, and increase the amount of local food production can result in an increased in healthier food choices, consumption of more nutritious foods, and intake of traditional foods which help improve health outcomes. Small-scale urban farming helps maintain a level and/or ability for local food production. Local

food production contributes to food self-sufficiency, which in turn supports healthy eating.

- Land use policy 2.3.p. promotes small-scale neighbourhood-serving commercial uses such as cafes, corner stores and restaurants.
- Land use policy 2.4.ab. encourages food production in public and private lands/buildings, such as community gardens, Indigenous harvesting spaces, edible landscaping, small urban farms, and initiatives such as a salad walk.
- Park and open space policy 4.23 that limits non-native plantings to edible plants that support food security.

Healthy Housing

Access to affordable housing decreases the frequency of moving between residences. Housing stability helps to reduce stress and allows people to take better care of themselves and their families. As well, living in adequate housing is strongly associated with an increased sense of safety, decreased crime and improved social connectedness when compared to living in poor quality housing which help people enjoy better health and an improved quality of life. Island Health commends the Town on inclusion of policies that seek to increase the supportive housing sites, recognizing that secure housing is a basic human need and vital component of health and healing for those who are under housed or experiencing issues related to homelessness, mental health and substance use issues. Maintaining units and affordability of rental stock is commendable and will enable lower income families to achieve better health outcomes. Increasing rental stock through addition of secondary suites and multi-unit dwellings will help facilitate families to reduce the percentage of income needed to cover housing costs can help keep them out of poverty, reduce overall mental stress, and provide opportunities to use monthly income to support healthy food choices and recreation pursuits. As well, placement of affordable housing near amenities improves access to healthy food, services and opportunities for social interactions, and helps reduce inequities in health outcomes.

- Land use policies 2.4.j. and 2.4.n. and Diverse and affordable housing policy 3.2 supports a range of housing types, sizes, densities, and affordable options.
- Diverse and affordable housing policies 3.11, 3.13 and 3.14 seeks to protect rental stock and considers impacts of strata conversions and short-term rental market on long-term rental supplies.
- Land use policies 2.4.k. and 2.4.l. and diverse and affordable housing policies 3.6 and 3.7 aim to increase rental unit supply through addition of secondary suites, coach houses, micro-units and tiny homes.
- Land use policy 2.4.m. prioritizes multi-family housing near parks, school and other amenities.
- Land use policy 2.4.o. prohibits substandard housing that is unsafe and undignified and diverse and affordable housing policies 3.8 and 3.9 considers universal design and accessibility features for improvements to housing that will lead to improvements in health of residents.

- Diverse and affordable housing policies 3.19 and 3.23 supports affordable housing projects and speaks to the importance of wrap around services for transitional and supportive housing for those dealing with homelessness, addiction and mental health issues.

Additional encouraging themes:

The Official Community Plan addresses climate change in the region and will work towards achieving carbon neutrality, reducing energy consumption and emissions, and creating energy efficient complete, compact communities through shifts in transportation system planning, infill developments, and preserving the urban tree canopy. Climate change initiatives presented here will aid in reducing greenhouse gas emissions. The plan recognizes the need for adaptation to climate change and has presented policies to build resilience against climate events such as: utilization green infrastructure for rainwater management, improved standards for new development, supporting upgrades for existing homes and buildings for EV charging capacity, supporting active transportation networks, and conducting risk and vulnerability assessments to prioritize areas to improve resilience and critical infrastructure for adaption interventions.

The OCP recognizes the rights of Indigenous peoples as declared by the United Nations Declaration on the Rights of Indigenous Peoples and the importance of advancing reconciliation process by priorities that will develop a framework for reconciliation, support land and economic interest through meaningful collaboration, awareness building, supports for harvesting of Indigenous food and medicine, and decolonizing policies, practices and services.

The OCP identifies the need for accessible and affordable childcare spaces. Quality childcare supports early childhood development, an important foundation for good health outcomes during childhood and into adulthood. Making childcare spaces affordable will provide relief in monthly household expenditures, allowing families more ability to offer healthy food choices, participate in recreation and cultural aspects that the region offers

The Province of BC has been in a declared public health emergency due to the toxic drug crisis since 2016, which has been exacerbated since the onset of the Pandemic in 2020. Social infrastructure policies 6.18 and 6.19 considers the importance of supporting partners and initiatives for the provision of addiction recovery centres as well as harm reduction spaces.

The OCP aims to reduce inequalities and build inclusion through policies that seek to identify social inequities and barriers to accessing municipal services and to develop strategies to address these, adoption of universal design principles for developments, community safety improvements, and ensuring public amenities are able to meet the needs of all residents.

Regulatory Considerations

Drinking Water

- The Ministry of Health's *Guidelines (microbiological) on Maintaining Water Quality in Distribution Systems* and the *Drinking Water Treatment Objectives (Microbiological) for Ground Water Supplies in British Columbia* provides guidance on microbiological objectives that need to be achieved for water distribution systems and for ground water sources, respectively. Application

of these guidelines will need to be undertaken by the District as a component of the water system operations.

- Individual households within the Plan area acquire water for domestic purposes from various sources, including surface and groundwater supplies. The *Water Sustainability Act and Regulation* requires approval to divert and use water from a stream (includes lake) or an aquifer.

Subdivision

- Where land development involves the creation of lots serviced by onsite sewage disposal Island Health's *Subdivision Standards* will be applied. This standard could be included as a required step in proposed subdivisions

Sewerage Disposal

- Adequately maintained community sewer systems provide centralized wastewater disposal to lessen impact on land, watercourses and reduce risk to public health. Community sewers also allow for more compact neighbourhood design, which lends itself to increased walkability and more positive health outcomes. However, where land development involves the creation of lots that will be serviced by onsite sewage disposal Island Health *Subdivision Standards* will need to be met.

Mixed Use Areas and Home-based Businesses

- Land use policy 2.4.f. supports home-based businesses. Where home-based businesses involve food preparation or production and to ensure food safety all food premises must meet the provision of the *Food Premises Regulation*. Additionally, the *Guidelines for the Sale of Foods at Temporary Markets* may pertain to vendors at local markets.

Recommendations under Island Health's Healthy Built Environment Initiative

- Consider including policies that protect agricultural land reserves and strengthen food security for the township. Preservation of agricultural land is vital for a sustainable healthy food system combined with policies that identify and aim to reduce barriers to access safe, affordable, nutritious culturally appropriate foods will assist more residents in meeting nutritional requirements that lead to improved health outcomes. Current increases to food costs due to inflation and uncertainty in supply chain reliance adds to the stress of the population. Improvements to local food security is a vital step to ensuring residents have sufficient, healthy food options to provide nourishment at all times and reduce stress to residents during times of extreme weather events that risk supply chain disruptions and scarcity issues.
- The OCP takes great strides in building climate resiliency into policies. Additional consideration should be given to assist supportive housing facilities address the specific needs of vulnerable populations during weather emergencies and to the provision of emergency shelters to support local residents during times of emergency weather events that necessitate the need for cooling, warming or evacuation spaces.

- The OCP encourages small-scale farming. Consider adopting regenerative agriculture practices/standards that lessens soil erosion, expands diversification, and minimizes disturbances for further enrichment of local and small scale farming initiatives.
- Secondary suites are a great way to increase the affordable housing stock. Give thought to parking issues that may arise. Secondary suites can result in utilization of on-street parking, which could lead to congestion of parked cars and decreased visibility resulting in possible road safety concerns, and an increased risk or perceived risk in vehicles colliding with pedestrians or cyclists.
- Aim for vision zero transportation safer in street designs. The inclusion of traffic calming methods and engineered roadways that can help reduce speed and increase pedestrian and cyclist safety as well as encourage active transportation modes. Traffic calming initiatives such as speed zones, speed humps, leading pedestrian intervals, and pedestrian refuge islands to name a few, will also improve safe travel into and out of the parking area. Increased safety measures are especially important where connectivity crosses a highway.
- Health care services are an intrinsic part of a healthy, thriving community. Consider including reference to health care services including; physician and staffing recruitment/retention and proximity, access and availability of primary care, urgent care and other Island Health services. As well outcomes highlighted in the OCP such as: suitable housing, food security, social inclusion, accessibility, protected ecosystems, agricultural areas and natural environments, active transportation, all link back to the social determinants of health. Consider including language in the OCP that links these outcomes to health.

If you have any questions or comments please do not hesitate to contact the undersigned for further clarification or to discuss further.

Huy ch q'u (Thank you),



Shannon Waters, MD, MHSc, FRCPC
Medical Health Officer
Cowichan Valley Region

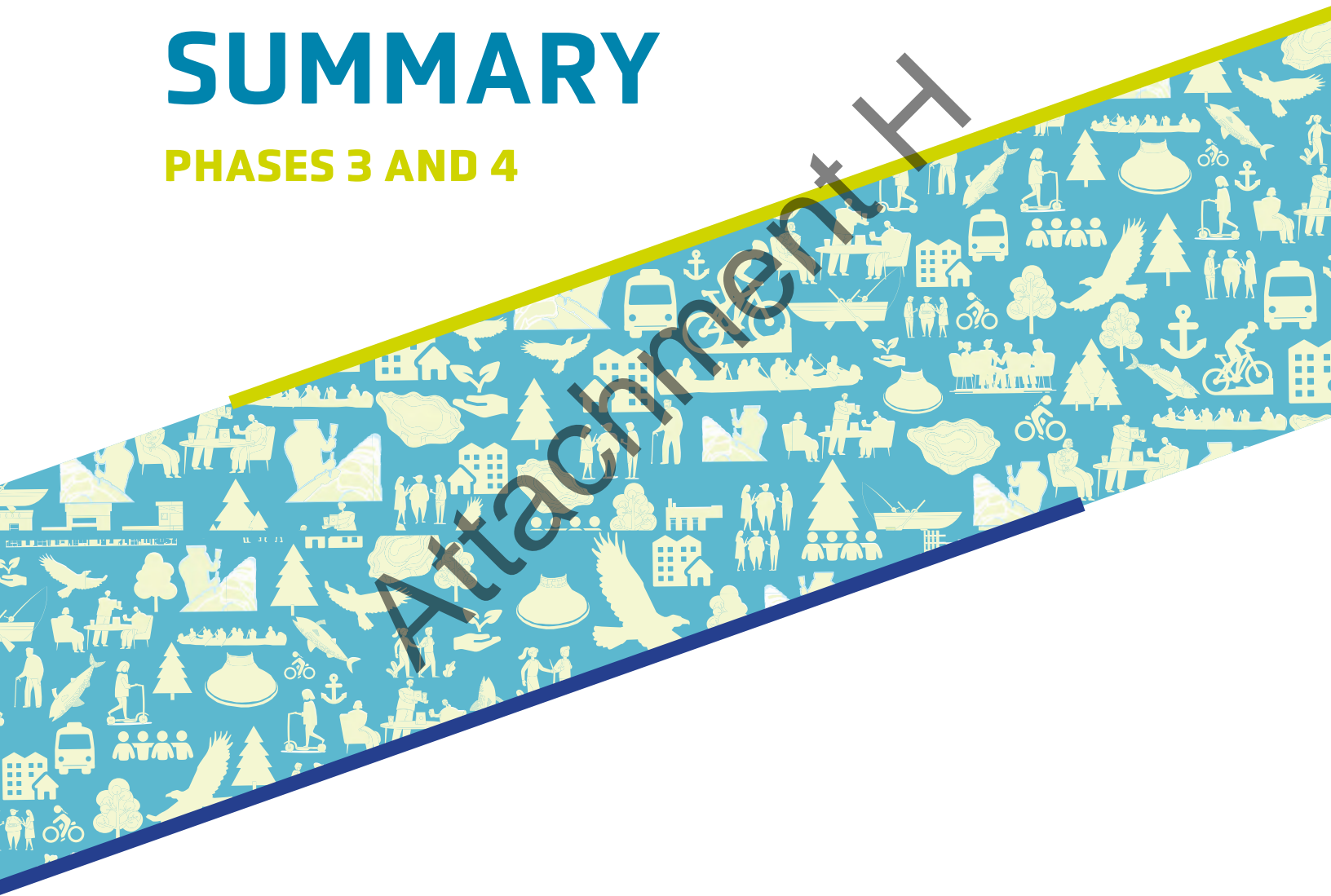
cc: Shaun Malakoe, Senior Environmental Health Officer
Tim Bilyk, Environmental Health Officer
Angela Wheeler, Regional Built Environment Consultant

SW/sv

LADYSMITH UNPARALLELED 2049
OFFICIAL COMMUNITY PLAN

ENGAGEMENT SUMMARY

PHASES 3 AND 4



DECEMBER 2022

PREPARED BY **ahne**
STUDIO

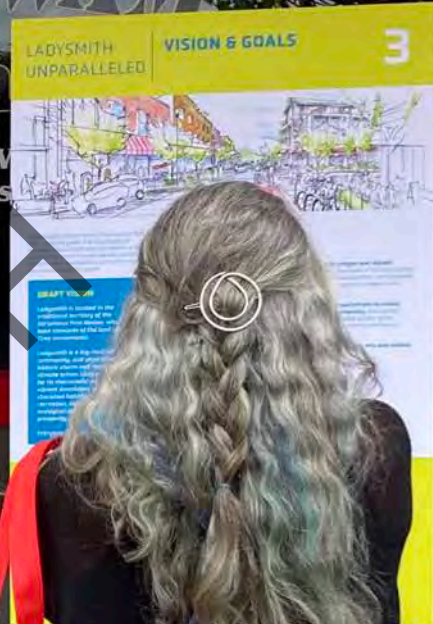


The Town of Ladysmith sits within the unceded traditional territories of the Stz'uminus First Nation, whose people have been the inhabitants and stewards of the lands and waters since Time Immemorial.

CONTENTS

EXECUTIVE SUMMARY	5
PROJECT BACKGROUND	7
OCP VISION ONLINE SURVEY	8
DRAFT OCP OPEN HOUSE	20
FINAL OCP PLANCAKE BREAKFAST	22
FINAL OCP ONLINE SURVEY	26

Attachment H



EXECUTIVE SUMMARY

To help inform the creation and refinement of Ladysmith's Official Community Plan, a series of engagement activities were completed between Spring and Fall 2022. These avenues to share input included both in-person events and online surveys, with over 300 people participating in the two online surveys, and hundreds more contributing their input across other engagement activities.

The ideas, insights, and experiences shared during these phases of engagement were diverse and plentiful. While everyone contributed nuanced and specific input, a number of themes emerged, summarized to the right.

Continued Priorities in Alignment with the Plan

Residents continued to share their priorities for the future of Ladysmith, including input related to affordable and diverse housing, better connected neighbourhoods, access to the waterfront and natural areas, and support for community amenities and character, including arts, culture, and heritage. These considerations are reflected in the implementation actions that were prioritized by community members.

Strong Community Support

The majority of participants responded favourably to the proposed vision, goals, and growth directions that informed the foundation of the draft Plan.

The majority of residents were also in support of the big opportunities shared across the draft OCP engagement activities.

Balance of Perspectives

Some participants shared concerns regarding a few elements of the big opportunities included in the draft Plan. Representative comments related to these concerns have been included throughout the Big Opportunities section of the Final Draft OCP Online Survey.



Community members engaging in conversation about draft OCP materials with project team members along 1st Avenue.

PROJECT BACKGROUND

Ladysmith Council's Strategic Plan provides direction to update Ladysmith's OCP to set the vision and a road map to build the community it wants over the next quarter century. Project objectives include:

- Meaningful, inclusive, and comprehensive stakeholder engagement
- Indigenous participation and engagement with a focus on reconciliation and partnership
- Meet legislative requirements for OCP and adoptions
- Adaptable process

WHY WE ENGAGE

Community engagement is integral to the OCP process because: people deserve to be part of planning processes that affect their lives; people are experts in their own lived experiences and therefore have inherent expertise to share; and people's input strengthens the plan and planning process.

PROJECT PROCESS + THIS REPORT

The OCP update is a four-phase process that started in 2021 and has culminated in a final draft OCP document. This report presents the outcomes of engagement activities that took place in Phases 3 and 4, as well as some input received at the end of Phase 2. The engagement during these phases gathered input on the:

- Draft vision, goals, and emerging growth directions (April-June 2022);
- First draft of the OCP policies (June 2022); and
- Revised / final draft the OCP, including both policies and implementation items (November-December 2022).

Outcomes from engagement activities relating specifically to active transportation (Winter 2022) are also included in Appendix A.

Visit <https://www.ladysmith.ca/city-hall/OCP> for the latest engagement opportunities and project updates.

Please note that participant comments have been edited for clarity, spelling, and grammar throughout this summary report.

PHASE 1



GATHERING KNOWLEDGE & CREATING A BASELINE

PHASE 2



CO-CREATING A VISION AND EXPLORING FUTURE SCENARIOS

PHASE 3



DEVELOPING THE PLAN

PHASE 4



MAKING THE PLAN REAL

OCP VISION ONLINE SURVEY



Welcome to the Ladysmith OCP Vision Survey!

Last year the Town of Ladysmith began a community-wide engagement on Ladysmith's new Official Community Plan (OCP). An OCP is intended to help manage growth and development in a way that meets community goals. It is a policy document that influences how people experience their town.

Based on the input of hundreds of community members, a draft vision, goals, and growth directions have been developed.

We invite you to please share your impressions and feedback.



OVERVIEW

PURPOSE

An online survey was available from April to June 2022, as a way of seeking input on a draft vision, goals, and emerging growth directions for the OCP. A total of 168 participants completed the survey. This input is summarized on the following pages.

Attachment H

DRAFT VISION

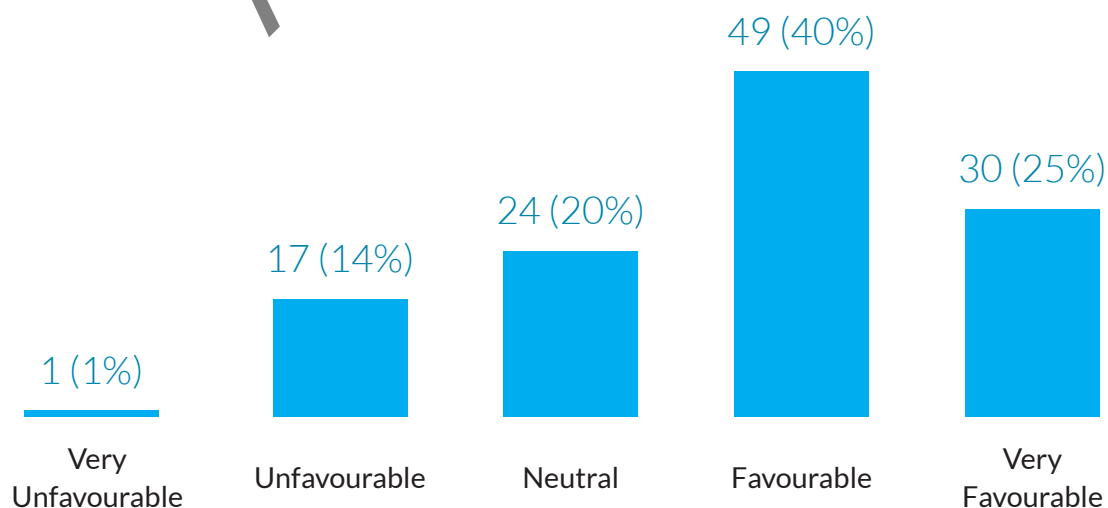
A plan begins with a vision. The vision of this OCP – and the goals that accompany it – embody the priorities and aspirations of the community. All of the policies and actions in this OCP were developed to bring the vision to life and to realize the goals.

Ladysmith is located in the traditional territory of the Stz'uminus First Nation, who have been stewards of the land since Time Immemorial.

Ladysmith is a big hearted community, and unparalleled in its historic charm and leadership in climate action. Ladysmith is known for its charismatic waterfront and vibrant downtown, surrounded by cherished habitat areas that offer recreation, natural beauty, critical ecological services, and economic prosperity.

Everyone is welcome here.

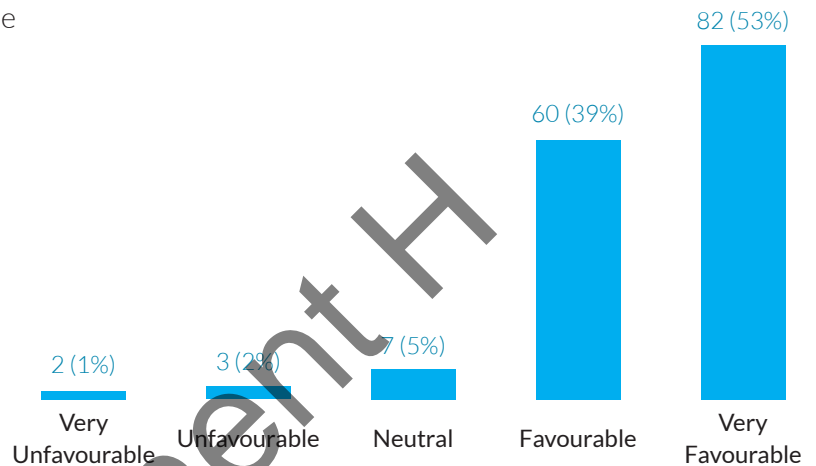
121 participants shared their reactions to this draft vision. A summary of their responses is below:



DRAFT GOALS

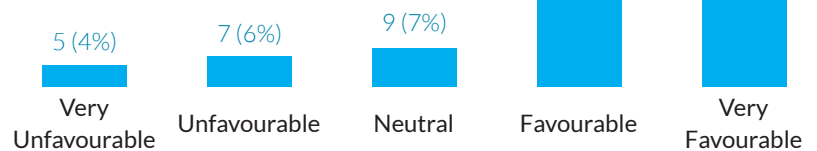
Participants also shared their reactions to a series of draft goals, summarized below and on the following pages:

1. BE PLACE FOR EVERYONE TO CALL HOME, REGARDLESS OF AGE, ABILITY, ETHNICITY, GENDER, SOCIO-ECONOMIC STATUS, AND SEXUAL ORIENTATION.

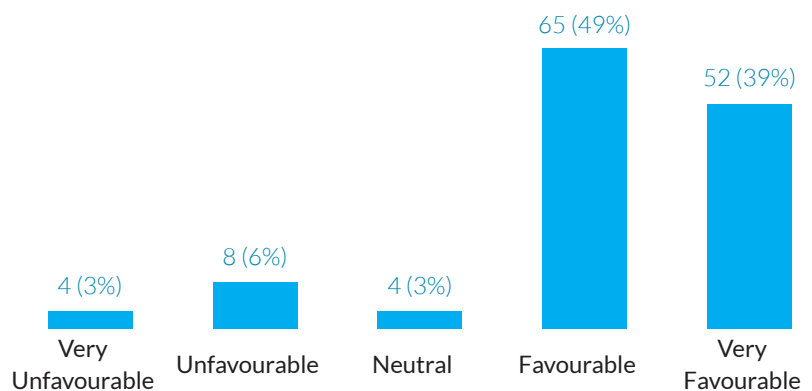


2. REDUCE COMMUNITY GREENHOUSE GAS EMISSIONS BY X%* AND BE ON TRACK TO REDUCE EMISSIONS BY X%* BY 2040 AND REACH NET ZERO EMISSIONS BY 2049.

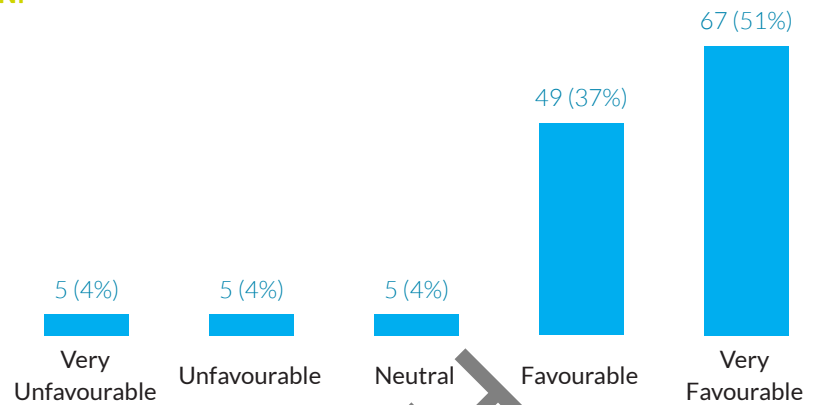
**SPECIFIC REDUCTION TARGETS ARE CURRENTLY BEING DEVELOPED THROUGH A CONCURRENT EMISSIONS MODELLING EXERCISE, AND WILL BE AVAILABLE FOR PUBLIC REVIEW IN EARLY SUMMER.*



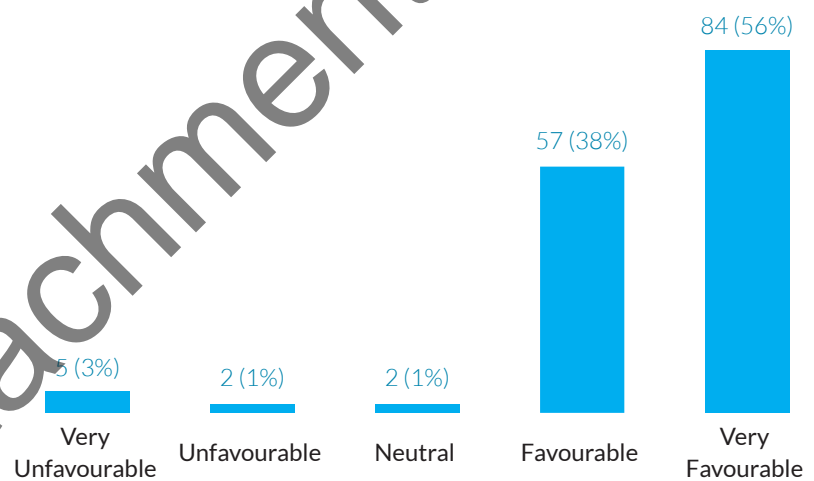
3. ADAPT TO THE IMPACTS OF CLIMATE CHANGE.



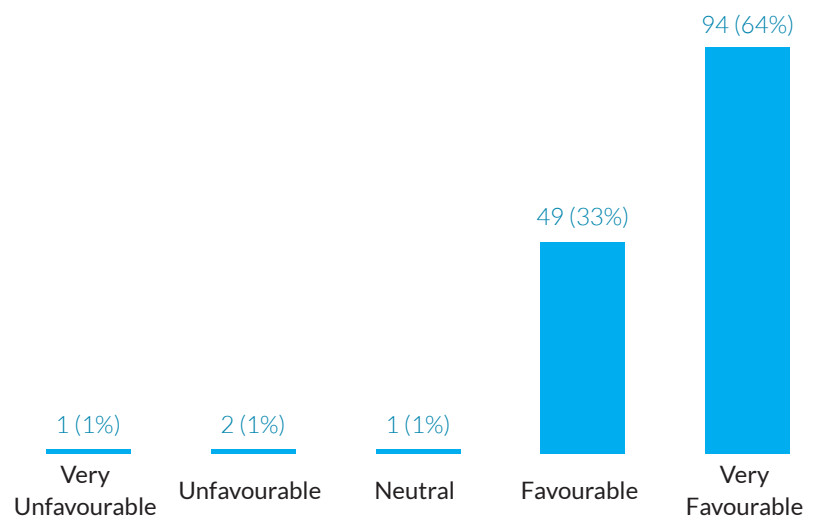
4. WALK THE PATH OF RECONCILIATION.



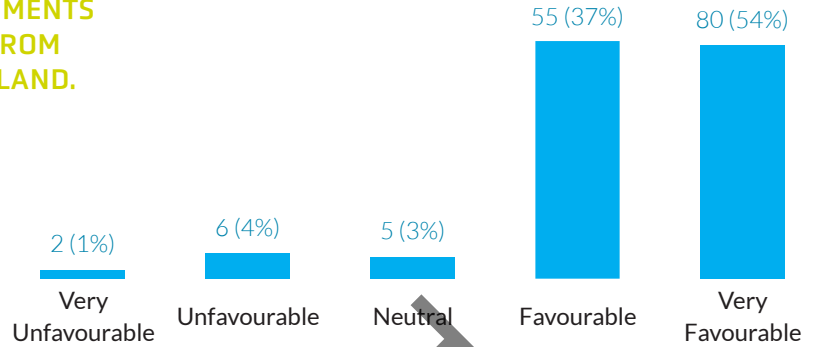
5. PRIORITIZE GREEN, SAFE, AND CONVENIENT CHOICES FOR GETTING AROUND, INCLUDING WALKING, CYCLING, AND TRANSIT.



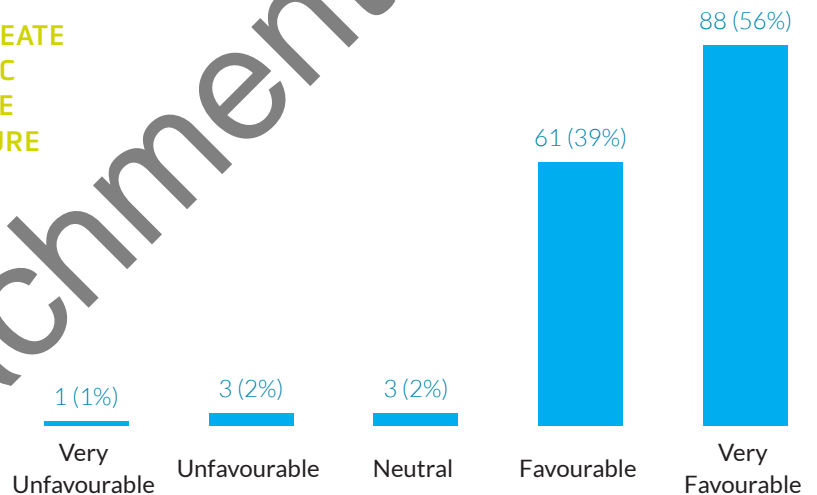
6. BE HOME TO NATURAL ASSETS AND THRIVING ECOSYSTEMS THAT ARE PROTECTED AND, WHERE NEEDED, REGENERATED FOR HABITAT, RECREATION, INTRINSIC VALUE, AND VITAL SERVICES THAT RANGE FROM CLIMATE REGULATION TO CLEANING WATER.



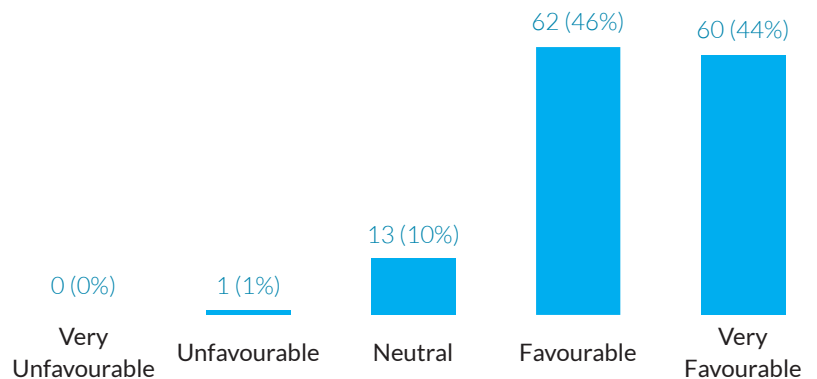
7. CELEBRATE ITS UNIQUE AND VIBRANT DOWNTOWN – THE HEART OF THE COMMUNITY – WHERE NEW DEVELOPMENT COMPLEMENTS HISTORIC CHARM AND SETS IT APART FROM OTHER PLACES ACROSS VANCOUVER ISLAND.



8. REVITALIZE THE WATERFRONT TO CREATE COMMUNITY PROSPERITY, MORE PUBLIC SPACES, AND RESTORED HABITAT WHILE HONOURING PAST, PRESENT, AND FUTURE GENERATIONS.



9. BE KNOWN FOR ITS LIVELY ARTS AND CULTURE SCENE.



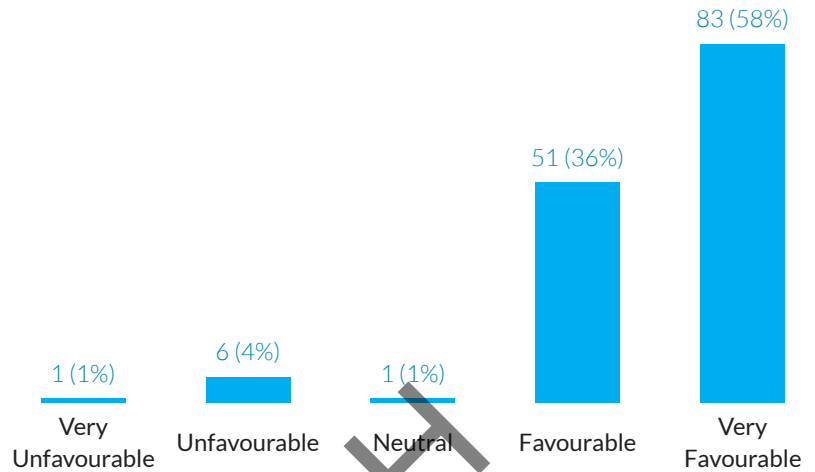
DRAFT GROWTH DIRECTIONS

Growth management is essential for meeting the community's goals. The physical growth of Ladysmith influences the efficiency and cost of infrastructure and services; municipal finances; community character; housing and transportation choices; protection of natural areas; and more.

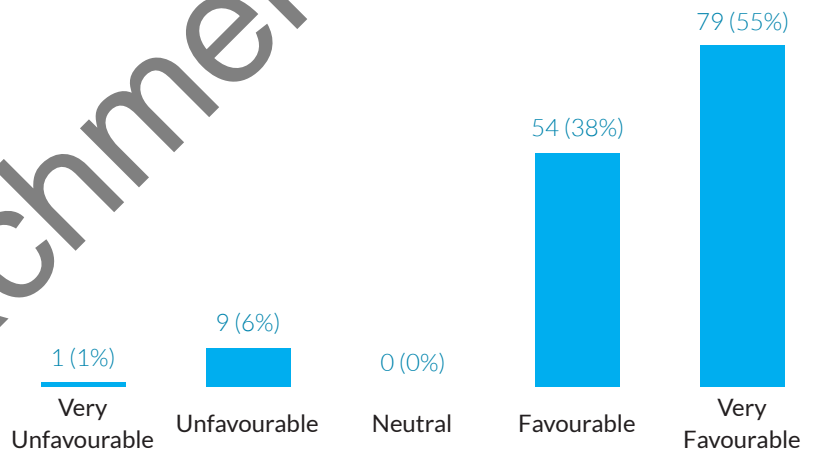
The following draft directions were proposed to guide decision-making about where and how this growth will unfold in Ladysmith. A summary of how participants reacted to each direction is highlighted on the following pages.

Attachment H

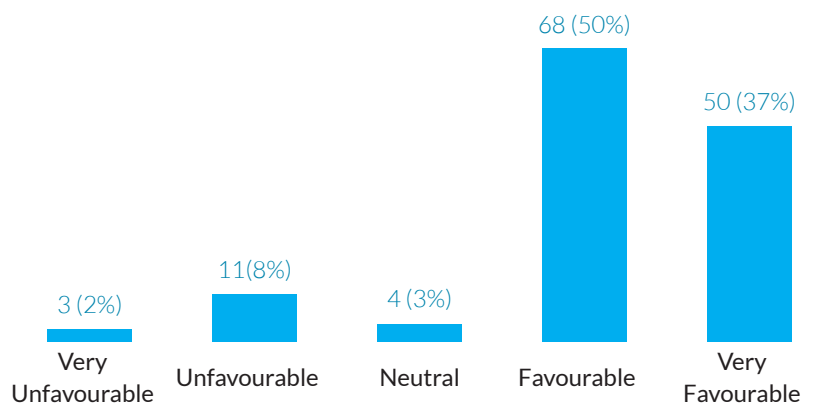
PRIORITIZE INFILL DEVELOPMENT BEFORE EXPANDING INTO FORESTS AND OTHER NATURAL OR UNDEVELOPED AREAS. (INFILL DEVELOPMENT REFERS TO NEW HOMES OR SHOPS THAT ARE BUILT ON VACANT LOTS AND REDEVELOPMENT SITES WITHIN EXISTING URBAN AREAS).



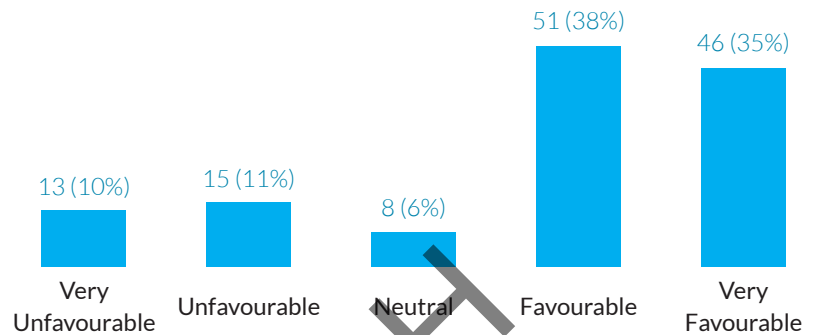
OPTIMIZE INFILL IN THE DOWNTOWN AND SURROUNDING AREAS IN NORTH LADYSMITH, AS THESE AREAS ARE ALREADY WALKABLE AND PROVIDE GOOD ACCESS TO SHOPS, SERVICES, AND OTHER AMENITIES.



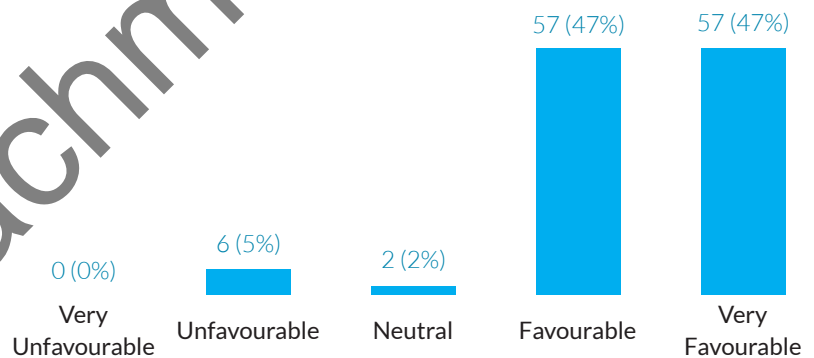
SUPPORT NEW HOUSING CHOICES, SHOPS, AND OTHER SERVICES IN SOUTH LADYSMITH, WHERE RESIDENTS CURRENTLY HAVE LIMITED ACCESS TO DAILY DESTINATIONS WITHIN WALKING DISTANCE OF HOME.



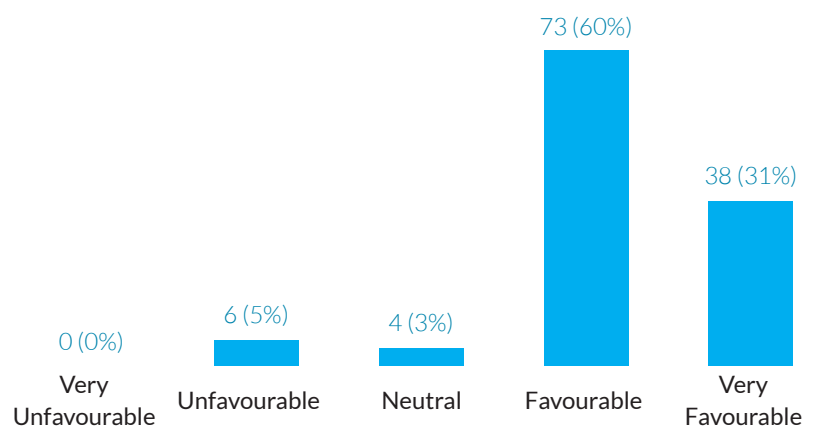
CONSISTENT WITH THE WATERFRONT AREA PLAN OPTIMIZE OPPORTUNITIES FOR NEW HOMES AND DESTINATIONS AT THE WATERFRONT, WHILE PROTECTING EXISTING PARKS, BEACH AREAS, AND OTHER IMPORTANT PUBLIC SPACES.



PUT COMMERCIAL USES – INCLUDING RETAIL AND OFFICE SPACES – IN BUILDINGS THAT HAVE RESIDENTIAL UNITS ABOVE.



PRESERVE EXISTING INDUSTRIAL LANDS FOR EMPLOYMENT, AS INDUSTRIAL LAND IS IN RELATIVELY SHORT SUPPLY IN THE REGION.



THEMATIC COMMENTS

Participants also provided comments related to the proposed draft growth directions. Below is a summary of representative comments relating to thematic areas that emerged.

Town Revitalization

I am totally onboard with revitalizing the older areas. I would love to see the town offer incentives to home owners to encourage them to, say paint their homes, fix fences, offer to plant one tree for curb appeal if a home owner desired (or offer a cash reimbursement of \$50 to \$100 if accompanied by a receipt). I think there is a plan to add curbs where needed, which is pretty much everywhere.

I think to support community growth there needs to be infrastructure that supports residents working in and staying in town. All of the current growth feels like retirees or people who are required to work out of town (regardless of how far out of town).

Revitalize downtown. Buildings are old and crumbling. Could be very charming. Would like more amenities like restaurants and shopping too. Choices are very limited.

Prioritize economic development. Developers have just been building housing for high end buyers while there has been no commercial development in years.

Some kind of rental control for leased spaces downtown to make small business more affordable. And to make sure that Ladysmith stays Ladysmith. I chose Ladysmith 15 years ago because of its small town feel and charm. [...]

If I think about the vibrant cities I visit, they have strong downtown cores, are largely walkable and bikeable, and don't have traffic congestion. Building single family homes in the suburbs will only increase traffic congestion and make the town less walkable and bikeable. So much of the recent residential building is single family homes in south Ladysmith. There needs to be far more focus on other types of housing closer to the core.

Climate Action

Our town is small, yet growing. Now is the time to make our climate goals more ambitious with better trash and recycling programs, more multi-family dwellings, an urban forest program, more support for community gardens, and a goal of net zero ten years earlier than the present goal.

[...] We have come a long way, but have a long way to go to truly be leaders in climate action and sustainable development. I recommend using all the tools in the policy toolbox to make clear, decisive changes to policy that will set the town on the direction that these goals point towards, and fast! We no longer have time to waste.

I support energy-efficient-minded growth that limits increasing sprawl and development of forested lands in the peripheries. [...]

Waterfront

Ensure 50 % affordable housing -- like co-ops and supported housing for at-risk groups and seniors on waterfront rather than letting area become homes only for the upscale and wealthy as it now is.

Leave as much natural nature on the waterfront instead of manicured nature. People enjoy real nature, like picking berries (Huckleberry, red caps, black caps, Indian corn, blackberry) also different kinds of greenery.

I believe that the waterfront plan should be top priority. [...]

Please allow more waterfront space for public use [...]

These areas of beauty should not be private but shared with everyone. Not many can access the water in Ladysmith and it certainly is a huge draw back to this town. They are a source of relief especially for people struggling with mental health and building them into private homes is the heart of capitalism.

Natural Areas

If we lose the habitat and the natural spaces we lose everything.

[...] I sincerely wish the council sincerely considers the value of our Holland Creek Trail, the generations of peace in nature it has provided for Ladysmith's residents, and takes measures to ensure the protection of our small piece of paradise. [...]

Housing Diversity and Affordability

Affordable housing is a critical issue in Ladysmith. Increase priorities for seniors housing, affordable and rental space for all ages. If seniors have no place to go we lose the our history and they lose their connections. If young people and families can't afford to live here we lose the vibrancy, heart and future of our community. The wealthy can go anywhere, the rest of us just want be able to live in this wonderful, special town.

We must and have an obligation to the next generation to optimize density within the context of the TOL form and character and create 'rent geared to income' at a maximum of 30%. There must be available housing stock of multi bedroom housing options to retain, attract and preserve our younger families. An intergenerational community is a healthy community and must be our ultimate OCP goal.

We need more apartment buildings. we need affordable housing somewhere in Ladysmith. Not everyone can afford a house.

Water Resources

Make a strong statement with respect to the town's watershed and water supply lakes, because we cannot be a thriving, flourishing and blooming town without adequate water supply and a healthy watershed.

Is there any correlation of the availability of potable water and population growth on the island? It feels like there is a building boom growing and we already need water restrictions.



DRAFT OCP OPEN HOUSE



OVERVIEW

PURPOSE

To promote the OCP update process and seek community input, a draft Plan was presented through an open house along 1st Avenue on June 18, 2022.

A series of panels summarized key information from the draft Plan, including the community's vision, goals, growth directions, draft land use plan, and key community policies across diverse topic areas such as transportation, housing, social infrastructure, local economy, parks and open space, arts, culture, and heritage, green buildings, and municipal infrastructure.

THEMATIC COMMENTS

Although many residents read through the materials and did not offer any comments, some community members shared their input.

A brief overview of thematic comments is summarized below:

- Desire for better connected neighbourhoods and trails, including access to the waterfront
- Desire for enhanced public spaces, particularly downtown, as well as neighbourhood parks
- Support for new commercial activity and an improved centre in South Ladysmith
- Support for more housing, particularly more diverse forms and affordable options
- General comments about infrastructure, including ensuring alignment with community growth

A full summary of verbatim comments can be found in Appendix B.

FINAL OCP PLANCAKE BREAKFAST



OVERVIEW

PURPOSE

A final OCP was presented to community members through a drop-in pancake breakfast on Saturday, November 5, 2022 at Aggie Hall.

THEMATIC COMMENTS

Participants were asked to review a series of panels and offer any comments related to the final Plan. A brief overview of what was shared is summarized below:

- Continued support for protecting the waterfront, improving access for all residents, and ensuring development aligns with the community's broader goals
- Interest in strengthening relationship between the Town and Stz'uminus First Nation, including more opportunities for collaboration
- Desire for an improved cycling network
- Support for housing for diverse community members, including younger works and seniors
- Desire for road network improvements and enhanced pedestrian safety, including more walkable neighbourhoods and better connected trails

A full summary of verbatim comments can be found in Appendix C.

PRIORITIES FOR IMPLEMENTATION

Most of the policies in the OCP guide change incrementally over time through regulation of development management of municipal assets, and other means. On the other hand, there are many policies that require the Town to initiate an action. Twenty of those actions were identified for potential implementation in the next three years and were presented in the survey. Participants were asked to select the six actions they believed should be prioritized for implementation in the near term. A summary of participant responses is below:



Implement zoning standards that protect existing and proposed rental housing stock.		4
Develop cultural safety training and protocols for employers to create a work culture that supports First Nations employees to thrive.		4
Dedicate funding to develop Ladysmith's first Mobility Plan, which would provide guidance on new street design, intersection and street improvements, pedestrian and cycling infrastructure improvements, and a capital and operational budget for short-term and long-term mobility improvements.		4
Conduct a job market analysis for Ladysmith and Stz'uminus First Nation.		3
Support the provision of employer training, education, and support to reduce barriers to recruit, hire, and retain employees who belong to groups that face discrimination.		3
As part of a comprehensive plan that helps Ladysmith adapt to climate change, undertake research to explore how the impacts of climate change will affect businesses in Ladysmith.		3
Update zoning standards to allow for smaller lots, in order to support more homes in existing and future neighbourhoods.		2
Monitor the impact of short-term rental accommodation on long-term rental housing supply.		2
Undertake a Town-wide analysis to identify social inequities and barriers to accessing municipal services. Develop a strategy to ensure equitable access for all residents.		2
Update subdivision and development servicing standards to reflect the recommendations in the Mobility Plan.		1
Develop a cycling network that tests different cycling-friendly measures before implementing permanent changes.		1

FINAL OCP ONLINE SURVEY



Welcome to the Final Ladysmith Official Community Plan Survey!

Over the course of the last year and a half, the Town of Ladysmith has been working with residents, stakeholders, and partners to update its Official Community Plan (OCP). The OCP contains town-wide policies that influence how people live, gather, work, learn, recreate, shop, and move around the community. A new draft Plan is in place, and your input is needed to possibly make final refinements!

You can read the full draft OCP [here](#), however you don't need to do so in order to complete this survey.

Tell us how well you think some of the OCP's big opportunities will help bring the community's vision and goals to life.



OVERVIEW

PURPOSE

An online survey was available from November to December 2022, as a way of seeking community input on a final draft of the OCP. A total of 175 participants completed the survey. This input is summarized on the following pages.

Attachment H

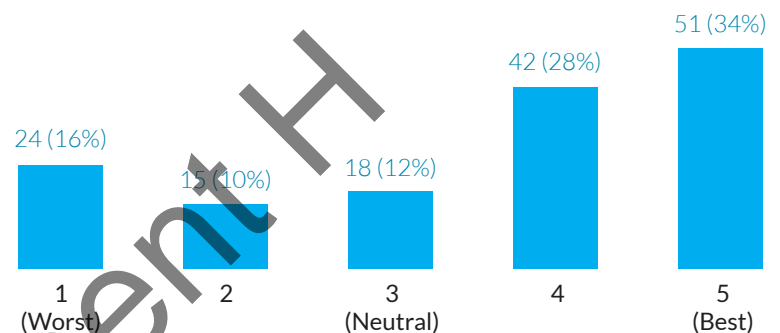
BIG OPPORTUNITIES

Thirteen of the big opportunities that represent changes from the current OCP were presented in the survey. This was not a comprehensive list, but it signals some of the important shifts in direction that will help make the community vision a reality. Participants were asked to share how they feel about each big opportunity, with responses ranging from 1 (worst) to 5 (best) and to offer any specific comments related to each direction presented.

Both input associated with favourable and unfavourable responses are represented across thematic comments.

1. GROWING ONLY IN EXISTING DEVELOPMENT AREAS

Future growth of homes, shops, and other development will take place within the Town's current Urban Containment Boundary [shown in map online].



THEMATIC COMMENTS

Focused Growth, Limited Impact on Natural Areas

Very pleased to see the focus is on areas already developed. This plan will help avoid the problem of urban sprawl that is not conducive to creating a close-knit community.

[...] "Fully support increased density of existing developments and prioritized areas

-Fully support increase multi-use use homes, town homes, mixed use zoning hubs"

Growth is inevitable but as the impact of climate change increases, I believe it's so important to ensure growth is compact and doesn't encroach further on our existing green spaces.

Desire for Services Throughout Ladysmith

Town needs commercial zoning at the top of the hill-around or beyond 6th Ave or holland creek development. I've seen seniors hitching rides at the top of the hill to get basic groceries. {...}

Buidings in the Downtown

Let's not build too high. 4 floors are great. I can survive 6 floors but more than that changes the quaint inviting to the ugly urban!

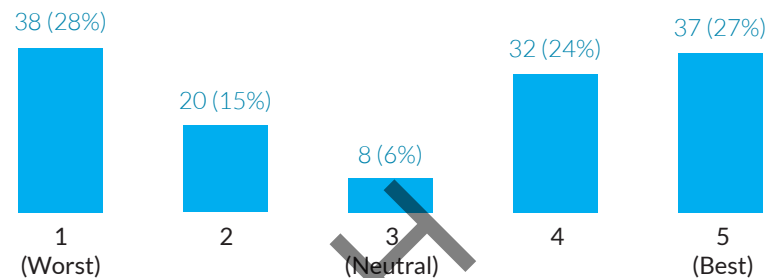
Not everyone wants to live on a postage stamp and invest in an area of old properties.

Improved Parking

Reduce parking requirements. New buildings like the developments for Madill and the yet to be built multi-commercial across from Home Hardware put too much emphasis on parking and wastes the space that stands unused the bulk of its day. Improve requirements for walking / biking to these destinations instead.

2. FOCUSING FUTURE DEVELOPMENT IN PRIORITY GROWTH AREAS

Future growth will be prioritized in the Downtown and surrounding Old Town area, Waterfront, and two mixed-use hubs in South Ladysmith. These areas are shown in red and orange in above map. This growth may come in the form of a mix of uses including shops, services, offices, and homes in buildings that are up to five storeys (1st Avenue), six storeys (elsewhere in the Downtown as shown in the above map), and eight storeys (largest mixed-use hub in South Ladysmith). This will help create destinations close to home and provide residents with more choices for housing and getting around.



THEMATIC COMMENTS

Mixed Uses

Mixed use is the way to go. Multi storey buildings with parking underground are needed for this to really happen.

Excellent plan. The more opportunities for people to walk to their destinations the better for everyone and the environment. I love being able to walk to get groceries, etc.

As South Ladysmith grows, there should be some stores or a small mall created, so people can walk to get bread and milk, or a cup of coffee and not have to always use a car for shopping. Are there any such plans for this?

Preserving Small Town Feel and Views

I hope having large buildings and so many more people doesn't change the small town feel.

I worry about the height of these buildings blocking the views (that were boasted about on the previous page) of current homes. 8 storey complex is too big and should be scaled back to 6 storey max.

I know higher density is a good environmental and economic choice yet I hope that 6 and 8 storey buildings come with appropriate infrastructure and an aim to support long term year round residents. Not feed the short term rental market.

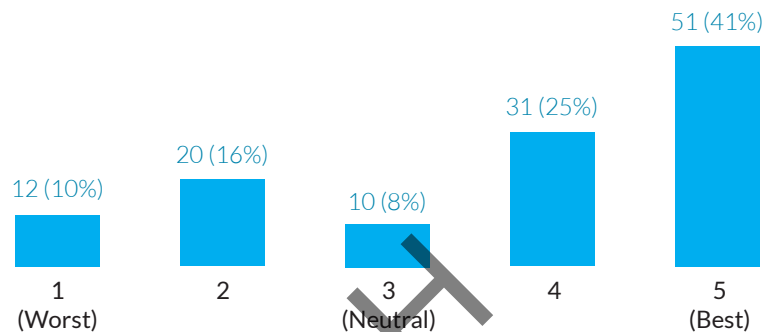
I agree with condensing living space and buildings to decrease land use and make living more affordable. I do not support new developments and unearthing/clearing green spaces by the waterfront due to loss of biodiversity. Building and redeveloping on already developed land should be the target

"Traffic safety around the Coronation Mall needs to be addressed, it is a mess at peak times. A one-way traffic pattern along the outer border of the parking lot with angle parking would be a good start.

Consider adding a convenience store and gas bar in the far south end to serve all the residents living in the new developments and take some pressure off of Coronation."

3. MORE HOUSING CHOICES EVERYWHERE

A greater range of housing types will be supported in all neighbourhoods throughout Ladysmith. In the infill areas shown in light yellow in the map above, these housing options include single detached homes, suites, duplexes, triplexes, townhouses, and multi-family housing up to three storeys. This will help make neighbourhoods more affordable, and create more choices for people to stay in their community throughout their lives.



THEMATIC COMMENTS

Strong Support for Diverse Housing

Agree. If you want a more diverse community, you have to provide more affordable housing for people to move into the area. Single family homes are desirable, but completely unaffordable for young families to move into. The youth are the future, so let's ensure we have appropriate accommodations for them. This will also improve the arts and culture scene in Ladysmith.

Including front yard infill residences (eg granny cabins and coach houses) where services are only from the street, and with compatible design.

Excellent! More choices in housing will attract a wider range of new residents who will stay because they can afford to, raise families, be part of the local workforce, buy local, and become contributing members of their community.

As a health care Social Worker, attached to two primary care clinics, including one of the busiest practices in Ladysmith, this idea sits very well with me, particularly that housing 'up to 3 storeys' is proposed.

This is where 4 floors would be great. A variety of personal choices is good.

We have to look at all types of housing. New buildings should try to fit the location, preserve existing views. A lot of the infill housing that has gone on has caused problems because of poor design. There is a building going up at 2nd and Roberts that is blocking the views of the building behind it. Maybe a different designed roof should have been called for so the views were preserved for the neighbours. That should be an important consideration going forward. That's smart design and planning.

Co-housing opportunities should be included, especially with the aging population.

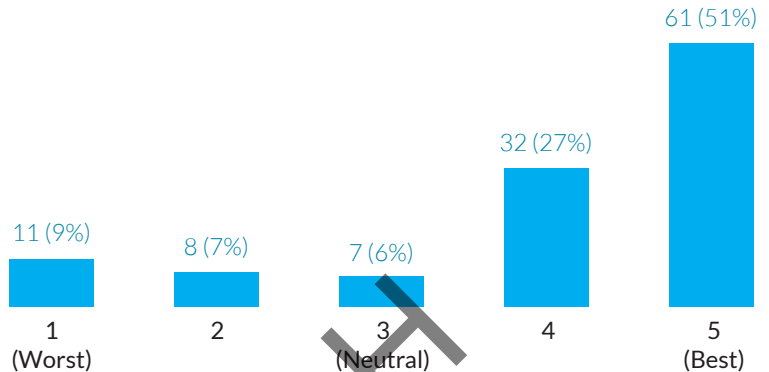
Support this from an equity perspective and environmentally by using land already dedicated to development more efficiently.

I'd like to see a housing grant for people to add a carriage house with parameters on rent set by the town so it's affordable.

Affordable housing should be THE priority.

4. MORE DESTINATIONS CLOSE TO HOME IN ALL NEIGHBOURHOODS

Neighbourhood-scale commercial uses such as stores and cafes are supported on larger streets, corner lots, and next to parks and institutions. Homes are encouraged above these commercial uses in buildings that are up to four storeys, and sensitively integrated with neighbouring uses. Again, this will support more destination close to home, which will help make neighbourhoods walkable and vibrant.



THEMATIC COMMENTS

Sense of Community

This is desperately needed to create 'community' outside the downtown core. Already you can see the benefit of having retail such as the Jas cafe in neighbourhood areas. It provides a space for people to gather, jobs for local people and makes it a better place to live.

I am excited to see such a proactive plan that will help the town maintain its vitality and welcoming feel. Mixing residents with businesses will give life to downtown areas that usually shut down at night. Having a presence in those areas will help minimize crime and make them safer for everyone.

We need more reasons to keep the public buying local. The more options we have the better.

Ladysmith desperately needs entertainment options. The town almost literally shuts down around 5pm. [...]

I've lived above commercial/retail and it's wonderful! It's a good use of land/property, and reduces our carbon footprint.

All about supporting walkable communities with near by accessible amenities.

Balancing Commercial Demand

My only concern is to keep downtown vibrant -- not to pull too much commercial development out to new town centres

One of the main attractions of living in Ladysmith is that it is a small town, with a vibrant downtown core. Too many destinations for retail, restaurants, coffee shops, etc outside of the downtown core will make the town feel chopped up and disorganized.

Parking / Mobility Solutions

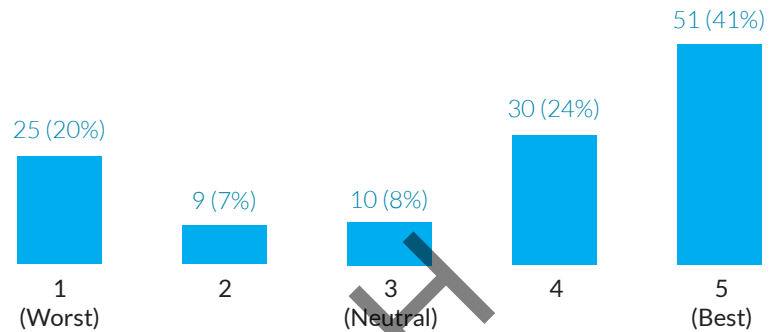
I support reducing parking minimums and support non-vehicle transportation (walking, biking, rolling)

Greatly reduce parking requirements. Enforce cycling / walking to destinations within neighborhoods instead of driveability.

In total support. We need to address increasing traffic. A look at expanding local public transportation. But also ensuring green spaces and trees are a major must. Let's get neighborhoods within neighborhoods happening.

5. STRENGTHENING ACTION ON RECONCILIATION

Reconciliation work continues to focus on action, as well as intent. Reconciliation policies are integrated throughout the OCP, with examples that include but are not limited to: supporting Stz'uminus First Nation in developing in areas that have cultural and/or economic benefit to them; requiring archaeological impact assessments and referral to Stz'uminus First Nation before development on archeologically significant sites; and creating learning opportunities in which Indigenous knowledge helps inform planning decisions in Ladysmith.



THEMATIC COMMENTS

Additional Reconciliation Considerations

Consultation with Stz'uminus on more than just archeologically significant sites...the whole of Ladysmith was a significant cultural location for resource gathering before contact. We ought to integrate Stz'uminus culture throughout the town.

I hope there are specific programs, goals and targets, as so often, the above words are just lip service with little done to reconcile all peoples. Are school curriculums including such exercises or programs? City Council meetings? City hiring practices? How will this all happen?

Give Stz'uminus First Nation veto powers on all decisions that affect their traditional territories.

More opportunities to join together to celebrate would be helpful.

Support and encourage strong connection with the Stz'uminus First Nation.

In support. As long as these are genuine partnerships. This will take real commitment, time, and building of trust. We need very skilled people on all sides to work in partnership. We need real, genuine commitment. This will be a huge challenge, but well worth the energy and effort. It will be ongoing even after some goals are achieved. We REALLY need YOUNG people in on this!!!

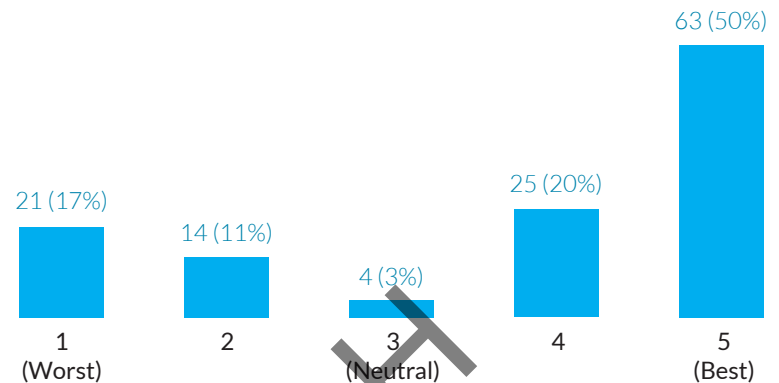
Sounds good from this view, but I do not know the view of the First Nations.

Constant engagement with the local nations on whose land we reside is integral to reconciliation.

Absolutely. Indigenous Knowledge should be highly utilized in development and plans on sustainability into the future. Decolonization should be a priority.

6. GREENER BUILDINGS

All new homes and other buildings may be built to net-zero emissions standards in the near term. Specifically, new single-detached houses will meet this standard by 2026, and other residential and non-residential buildings by 2028. This may be made possible through green building design, renewable energy, and green technologies. For existing buildings, incentive and programs will support significant improvements in energy and water efficiency. These are important moves to help Ladysmith meet its GHG emissions reduction targets, which is necessary for addressing the climate crisis.



THEMATIC COMMENTS

Support for Greener Buildings

New homes are easy to build to net zero - the BC step code will already make that happen. Greater reductions will come from focussing on existing buildings, moving people off gas, and onto fully electric systems. Offering rebates to help people move towards more efficient heating systems such as heat pumps, or to install electric vehicle charging stations will go much further than the current plan, which does nothing other comply to building code that is coming in anyway.

Let's use the word WILL be rather than MAY be. We must act quickly to protect the environment.

We all have to do every thing we can to support this cause, so we can leave it for our children to enjoy.

Yes, I love this. The climate crisis must be addressed now and financially supporting individuals to do this while holding corporations/builders/developers to higher standards is essential. I highly support incentive programs aimed at decreasing GHG emissions

Needs to happen, but encourage greater updating of so many older homes.

Economic Considerations

People need a choice for economical heating in their homes. Electricity will certainly increase in cost with more demand, making it more expensive for individuals and families. A balance must be made with green initiatives

Again Ladysmith is a small town - these measures have to be economically feasible - with incentives and other programs

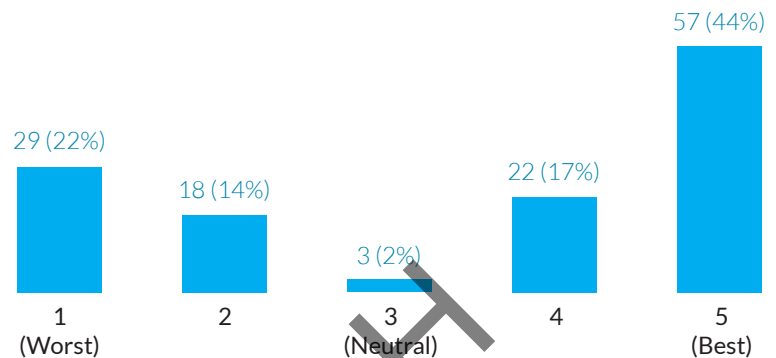
Greener is cheaper in the long run.

Consider incentives for wider variety of retrofits, eg solar, grey water rerouting, etc.

Incentives are a good idea and free design assistance would make sense too.

7. MORE CHOICES FOR GETTING AROUND

Transportation policy and budgeting will prioritize investments in walking and cycling. For example: street space will be repurposed to better accommodate people walking, rolling, and cycling; public parking will be more efficiently managed and will prioritize those who need it most; and electric transportation – such as electric vehicles and bikes – becomes the norm. This ‘move’ is important for reducing GHG emissions, supporting active lifestyles and public safety, enhancing accessibility for seniors and persons with disabilities.



THEMATIC COMMENTS

Safety for Pedestrians and Cyclists

The town needs proper cycle lanes that don't put cyclists in danger of being "doored", that aren't shared spaces with pedestrians, and that have proper signs telling drivers to take care and give way.

Safe cycling and walking routes: sidewalks on every street, separate bike lanes.

Balancing Parking with Community Priorities

This would further support increased density and municipal funding. Less parking spots. Can we consider one-way traffic downtown to encourage walking and rolling and biking? I am less likely to go into stores and cafes if I can drive all the way through downtown.

Strongly support. Would there be any way to make 1st Avenue more walkable? Busy traffic and many parking spaces make it less accessible to many. It's such a beautiful street, would having one way traffic or different location of parking spots be an option?

Equity in Mobility

I agree with this "opportunity" as long as there is clear recognition and accommodation for the substantial proportion of the seniors and persons with disabilities with significant mobility issues - they won't be riding electric bikes, and most won't be driving electric or other vehicles.

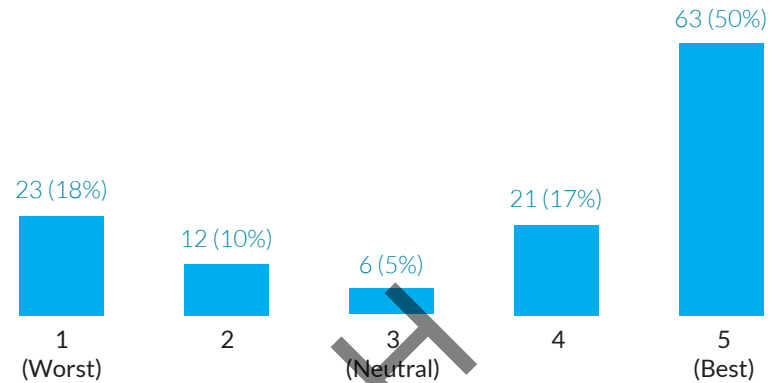
All good ideas but very challenging on the side of a hill - seniors centres for example should be on flat land - easier access.

Bikes sound great but keep in mind our town is full of hills and soaking wet for half the year. Until electric cars are the norm- please consider those of us with young children (and there are many!) and all the various pick ups and drop offs before doing away with parking.

I like it, but literally, my car is required for both my job, and given where I live in Ladysmith, day to day errands. This is the case for many seniors and people with varied abilities.

8. ACTING ON THE CLIMATE EMERGENCY

In addition to green building and green transportation policies, policies for reducing greenhouse gas emissions are integrated throughout the OCP in order to meet Ladysmith's net-zero emissions targets. These policies have been modelled to ensure that they result in the necessary reductions. They range from solid waste management and resource conservation, to green energy procurement.



THEMATIC COMMENTS

Supportive Responses

Again, all communities ought to be invested in this.

Not glamorous, but important.

Distributed systems and supporting small local and personal power sources makes sense.

Strongly support and am grateful for a commitment to actively addressing the climate emergency. In addition to ensuring net zero standards in new homes and incentives for existing homes, considerations for adapting to climate changes that are already certain is essential with new builds and renovations/retrofits. Ensuring buildings are designed up to future projections in heat, precipitation, etc. is important as the climate is different now and is changing (even if we meet our targets). This is important for safety/equity in people's homes and town buildings and to prevent need for substantial restructuring in the future.

Circular economy.

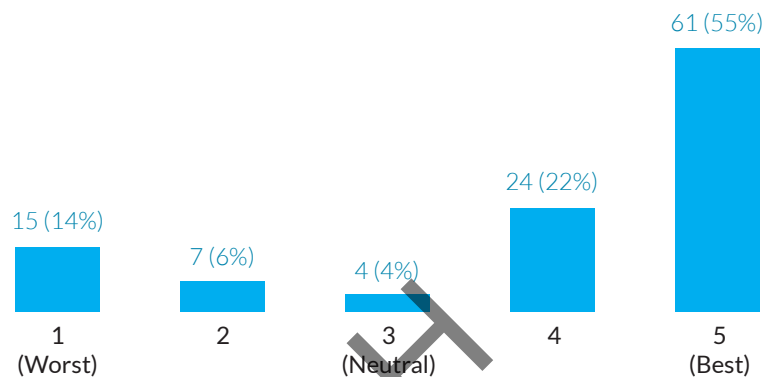
Improved recycling collection / education.

Additional Consideration

It all sounds good but comes at a cost.

9. ADAPTING TO CLIMATE CHANGE

Risk assessments will be undertaken to determine critical risks to Ladysmith's infrastructure and identify priority areas for preparing for the impacts of climate change. Adaptation measures and updated design standards will be developed to improve Ladysmith's resilience.



THEMATIC COMMENTS

Urgency of Climate Action

We need more than a risk assessment, we need actual proposed solutions!

Risk assessments are always a good idea as they give starting points for making change.

More of a necessity than an opportunity.

WE are already in the midst of climate impacts. We need action based strategies, an action plan immediately. We do not need any more conferences or consultants or studies.

This is not rocket science it is basic science and logic with a lot of common sense reactions. Get the kids working. Cause what we are leaving them right now ain't all that great!!

Policy Implications

With the inevitability of future water shortages I believe it is essential to urgently construct more fresh water capture capability (underground?) and suggest at end of current stream runoff routes which are otherwise washing into the sea.

What about earthquake risks also? Need to assess this.

Maintenance is a huge ongoing expense. It would be good to put real effort to find low maintenance and artful designs and solutions.

This objective is too broad. We need clear, definitive objectives with respect to water reservoirs and managing urban/forest infrastructure to mitigate drought and fire.

Development Considerations

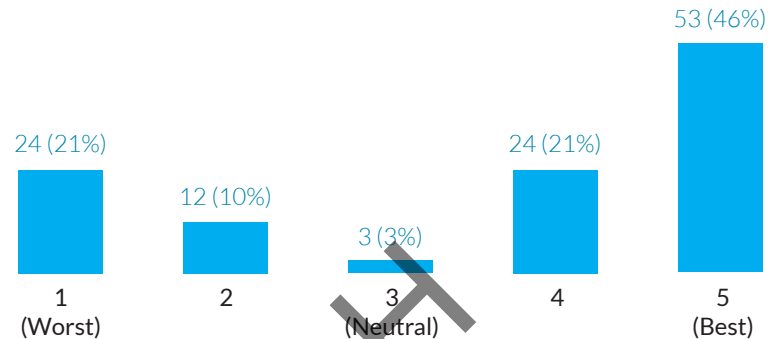
Resilient green spaces as opposed to grass.

All development along waterfront or adjacent property must take projections into account.

Flood run-off and landslides are a risk on our steep hillside developments and needs to be carefully considered in future developments.

10. MORE RENTAL HOMES

Existing rental homes may be protected, in order to address the issue of diverse and affordable housing. If rental housing is redeveloped into non-rental housing, then new rental housing must be provided elsewhere so that there is no net loss of rental homes in Ladysmith. This helps address the demand for rental housing options in the town.



THEMATIC COMMENTS

Support for More Rental Housing

We still need more affordable rental space over and above what there already is.

More rental housing is definitely needed if Ladysmith wants to attract people to work in the businesses that desperately need staff. Long-term rentals are important. Short-term rentals, like Air BnB, etc., have cut into hotel/motel businesses, and have made it near impossible to find long-term rental housing, especially for families. I think there should be a limit on short-term rentals.

We need people to work in our businesses, but we'll only have a labour force if we have affordable housing options, including rentals. We need housing for young people and young families as well, and owning may never be an option for some.

Additional Housing Considerations

The current, unprecedented housing crisis is multi-pronged, and impacts people/families of every cultural and socio-economic status. Communities, including Ladysmith must take this approach, as well petition the Provincial and Federal governments for updated policies, including subsidizing market housing, not just the few Housing Registry properties, new and old alike.

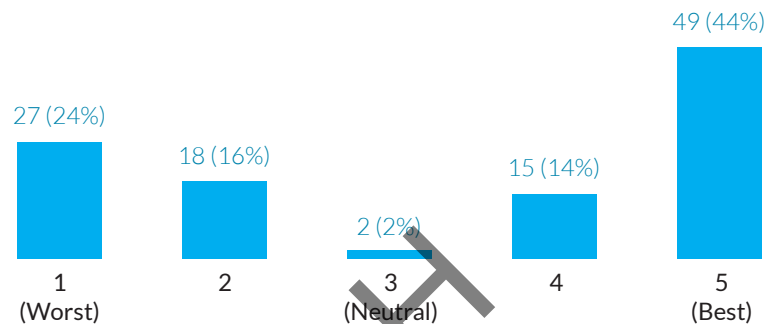
Make the move to allow tiny homes, or like buildings, to be placed on residential lots to provide additional rental / housing possibilities.

Again rentals should be protected for long term dwellers as a priority.

I agree with measures to protect the availability of rental accommodation, as long as they don't overly restrict a landlord from selling an individual rental home to someone who will live in it (possibly the people who were renting it).

11. MORE RENTAL HOMES AND OTHER HOMES FOR THOSE WHO NEED IT MOST

Existing rental homes may be protected, and supportive housing may be allowed in all neighbourhoods. Supportive housing combines homes and services for those who face complex challenges, including individuals and families who experience homelessness, poverty, and persistent issues such as physical or mental health challenges, disabilities, and substance abuse disorders. Rental and supportive housing will help meet the housing needs of those in Ladysmith who need it the most.



THEMATIC COMMENTS

Housing as a Complex Challenge

Smaller communities are ideal for supportive housing because, as the saying goes, "it takes a village to raise a child". People with challenges need a strong, welcoming, supportive home base where they feel they belong and are part of a community that cares about them.

The Town needs to be more proactive in this area. We have numerous dead-end streets where the Town owns the unused road right of way. Those unused areas are neglected and could easily be built upon for affordable housing initiatives

"This is going to require a large portion of our citizens to think very differently.

Right now even young people with decent incomes and professions can't even find appropriate housing, homes they can afford. AND these are the folks who are paying taxes, have professions and yet cannot afford their own Condo, home, ore even in many cases rent!! [...]

There is no silver bullet for this problem, Give it your best wack at it and adjust accordingly.

Community Concerns

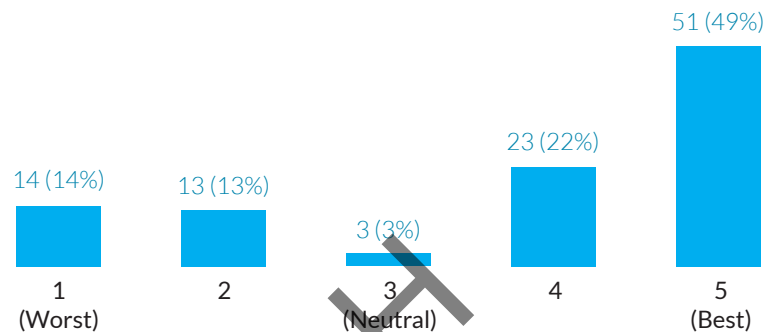
Hard to discuss this issue as homelessness is a result of many factors. [...]

A bigger push needs to be made to the larger governments to actually fix the problems we have with homelessness. While I do believe that everyone deserves a home, if we're not addressing the mental health, addiction, etc problems, society is going to continue to suffer.

Housing for people with complex mental health and addictions issues needs to come with appropriate supports and resources to help them and also to support safe public space for everyone.

12. BIG PICTURE DECISION MAKING

The Town will take a “full cost accounting” approach to decision making. This means that so-called external costs associated with climate change impacts, air pollution, motor vehicle collisions, and other health and sustainability impacts may be accounted for going forward. This approach will be guided by stringent targets for reducing energy and water use, diverting waste, and treating wastewater and organic material such as compost.



THEMATIC COMMENTS

Support for Big Picture Decision Making

Looking for creative and unique solutions will be very important.

“Absolutely....This is logic!!

And should be given priority. How else will we know if our dreams and plans will be supported and affordable?”

This should be essential at every level of government.

I think full cost accounting should be available to decision makers to consider in making decisions - but need to be aware of what other municipalities, governments and companies are using to make decisions (i.e., we do not want to reject something or become uncompetitive only because Ladysmith is using full cost accounting).

Additional Considerations

Good policy and necessary but I am concerned who is deciding these factors. I want real costs not manufactured costs based on ideological stances either right or left.

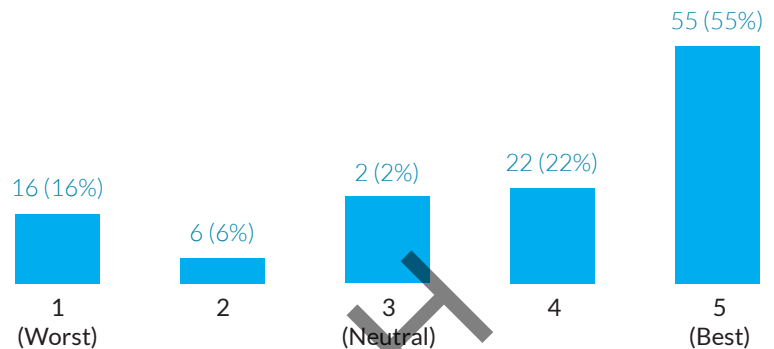
How does the single occupant vehicle use weigh into this conversation with all that a municipality delivers? Part of the strategy needs to incorporate moving this from vehicles to other modes of active transportation.

“But let’s act now - we have so many consultant reports - it’s time to act no more studies.”

I really don’t think the Town have the education to fully understand how to implement a circular economy - which is the only thing that will mitigate all these ‘costs’.

13. ENSURING EVERYONE HAS A SAY

Priority will be given to equitable participation in processes that shape the future of Ladysmith. This means that special consideration must be given to ensure equitable opportunity for participation by under-represented groups and others who face barriers due to their income, ethnicity, age, gender, sexual orientation, immigration status, religion and/or disabilities. This is important for creating a Ladysmith in which all people can participate, prosper, and reach their full potential.



THEMATIC COMMENTS

Support for Diverse Voices

Always good ... always difficult to realize but right direction.

Yes this supports Ladysmith's vision for "all welcome". Love this.

"This is important. Our seniors who have had experience need to have a say.

Long time residents need to have a say. All groups should be included equally."

People should be listened to and HEARD no matter who they are. Obviously. A lot of improvement needed in this area.

Ensuring Effective Decision Making

There must be balance between the "wants" of the most vocal outliers and sustainability/viability of plans/projections as a whole.

Please don't be afraid to act/ make decisions - nothing is going to be 100% every time.

OTHER COMMENTS

Waterfront Process

The Waterfront development has taken forever to complete. So much could be done in this area but in 2 1/2 years little has been done. The road is still full of potholes and the incomplete building is still standing vacant. A vibrant community of arts could draw people to this area every weekend, provide events, classes, traffic and commercial activities. This plan needs to be accelerated.

Love the new waterfront look! Ladysmith needs a year round restaurant ON THE WATER! It would be a huge tourist draw- just look at cow bay!

Incentives for Residents

At this point, I see no incentives from the City for the residents of Ladysmith. There is talk of incentives for all, but I don't really see it. I just see cost, increase, and more cost - the town of Ladysmith is small, quaint and classic. Friends of mine in Nanaimo come to Ladysmith to shop because it is, "still a small town feel" rather than big box city. We need to keep our town the way it is and not aspire to be a big city too soon.

Support for the OCP

I am encouraged and hope the Council adopts this bold strategy to address climate crisis and housing crisis. BE BOLD. Less car dependency and parking, with more walkable infrastructure and mixed-use hubs and increased multi dwelling homes and infills. Follow other jurisdictions like California to update building codes to ensure climate resilience. Phase out gas operated lawn equipment. Sponsoring Community Health Centre for infrastructure for increased access to Primary Care to attract and retain more Family Doctors.

Limiting our impact on climate change and the biodiversity crisis is key and I am sure there will be many tough decisions and trade offs. Great job.

Thank you for focusing on the climate emergency and ensuring equity in the process. I am very excited for this plan going forward and strongly support the commitment to a safe and equitable future.

OCP Implementation

"An OCP is an important document. But as I have learned, every OCP is open to change. From the first OCP I was involved with in Vancouver to the present in Ladysmith it is always tweaked and changed to benefit developers. We must give more consideration to the citizens and residents of the neighbours and respect what they would like when developers come along asking for rezoning and changes.

Will this happen? Who knows."

Additional Ideas and Actions

"I would love to see innovative plans to attract new GPs and nurse practitioners to town so that those of us without one could access primary care.

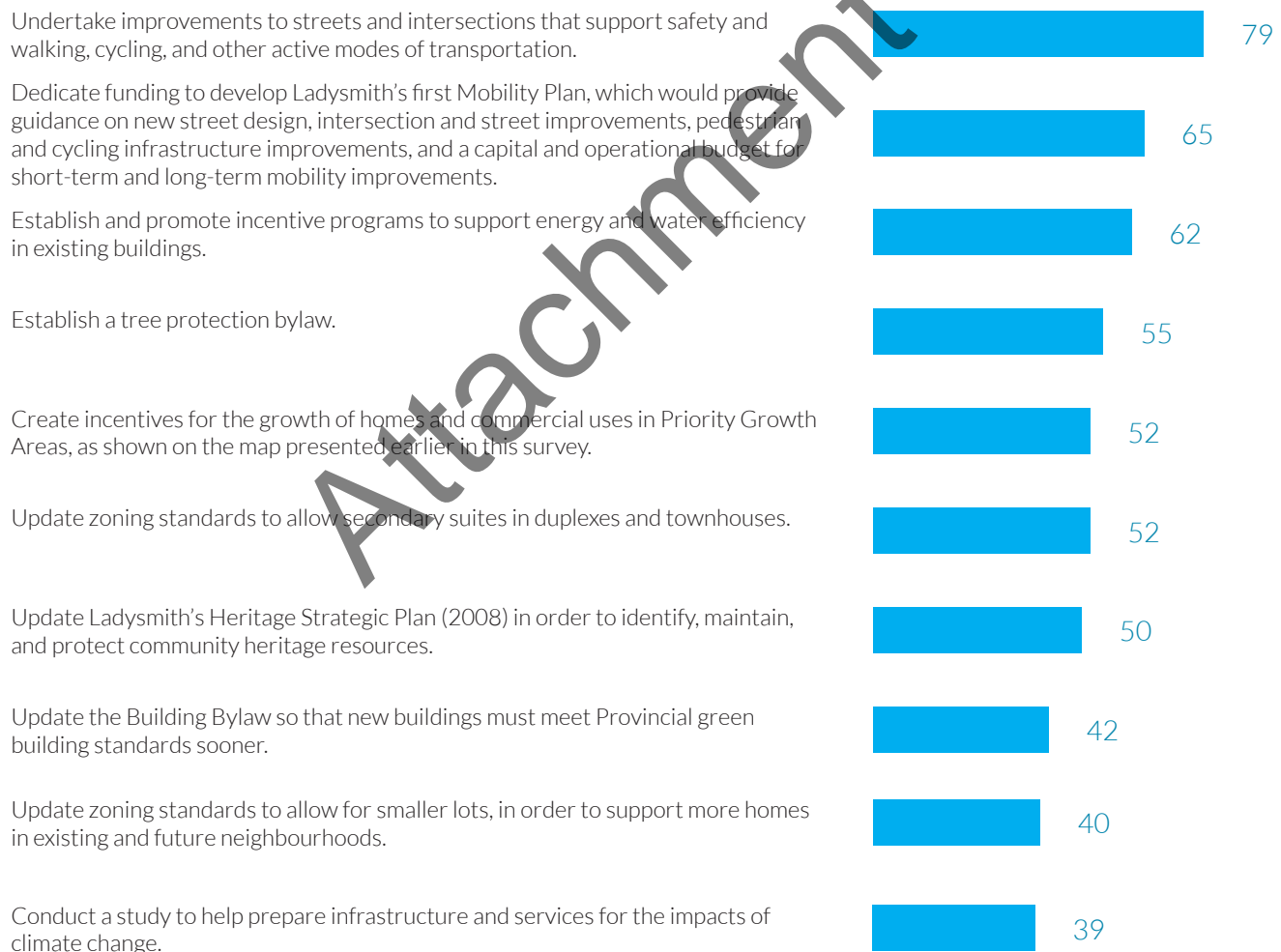
I would like to find a single office to rent in Ladysmith and have not been able to so must see clients in Duncan. Would love to see some innovative small office rental options."

Would have liked to see some specific actions on encouraging local food production and edible landscaping - for town-owned property as well as residential and commercial properties.

Big Opportunity: Ladysmith needs a bylaw enforcement officer (full time) that isn't afraid to actually enforce.

PRIORITIES FOR IMPLEMENTATION

Most of the policies in the OCP guide change incrementally over time through regulation of development management of municipal assets, and other means. On the other hand, there are many policies that require the Town to initiate an action. Twenty of those actions were identified for potential implementation in the next three years and were presented in the survey. Participants were asked to select the six actions they believed should be prioritized for implementation in the near term. A summary of participant responses is below:



Co-create a Reconciliation Framework, seeking guidance on topics and directions from Stz'uminus First Nation and other First Nations whose traditional territories encompass Ladysmith.	36
Monitor construction of rental housing to help maintain overall supply, and encourage rental projects in areas close to transit, employment, parks, shops, and services.	33
Develop a cycling network that tests different cycling-friendly measures before implementing permanent changes.	28
Update subdivision and development servicing standards to reflect the recommendations in the Mobility Plan.	22
Monitor the impact of short-term rental accommodation on long-term rental housing supply.	20
As part of a comprehensive plan that helps Ladysmith adapt to climate change, undertake research to explore how the impacts of climate change will affect businesses in Ladysmith.	19
Implement zoning standards that protect existing and proposed rental housing stock.	16
Undertake a Town-wide analysis to identify social inequities and barriers to accessing municipal services. Develop a strategy to ensure equitable access for all residents.	16
Conduct a job market analysis for Ladysmith and Stz'uminus First Nation.	14
Support the provision of employer training, education, and support to reduce barriers to recruit, hire, and retain employees who belong to groups that face discrimination.	10
Develop cultural safety training and protocols for employers to create a work culture that supports First Nations employees to thrive.	5

NEXT STEPS

The input received during November and December 2022 will be used to make further refinements to the final draft OCP before it is taken forward to a Public Hearing in early 2023.

Attachment H



APPENDIX A - ACTIVE TRANSPORTATION



Walkshop participants pausing to discuss opportunities and challenges along 1st Avenue.

OVERVIEW

PURPOSE

On March 5th, 2022, project team members hosted a series of workshops with residents to better understand current challenges and opportunities to improve the active transportation network within Ladysmith.

The workshops provided community members with an opportunity to observe, discuss, and problem-solve ways to make Ladysmith's roads and sidewalks more accessible to all pedestrians.

These discussions included prompting questions such as: how can Ladysmith's streets be better designed for people to feel safer while out walking, cycling, and rolling?; and what opportunities are there for better connectivity between neighbourhoods and destinations such as schools, stores and recreation areas such as the waterfront and parks?

A summary of emerging themes from these conversations is highlighted to the right.

EMERGING THEMES

- **Pedestrian safety improvements** – participants shared a need to improve unsafe crossings along 1st Avenue. Contributing factors included limited visibility, fast vehicle speeds, and confusing intersections. Some potential solutions suggested were roundabouts, flasher crossings, and improved street lighting.
- **Public space activation** – participants shared interest and support for transforming sections of 1st Avenue to be pedestrian-only, either seasonally or occasionally.
- **Access** – discussions centred around a desire for better connections to the waterfront, including improved ways to cross the highway and creating a better connection between Coronation Mall and Transfer Beach.
- **Topography** – participants discussed how to better address the Town's topography, including additional amenities such as benches, railings, and weather protected spaces to improve accessibility for diverse residents.
- **Cycling improvements** – participants advocated for safe, secure, long term bicycle parking and expanded bicycle lanes throughout Ladysmith.
- **Movement efficiency** – traffic and congestion along 1st Ave was identified, including near the roundabout at Symonds St. and 1st Ave.
- **Transit** – although outside of the scope of this work, participants highlighted the importance of more frequent and convenient transit service.

APPENDIX B – DRAFT OCP OPEN HOUSE

Attachment H

Attachment H

BOARD 3: DO YOU HAVE ANY COMMENTS ABOUT THE VISION AND GOALS?

More rainbow crosswalks and stuff. Painted rainbow!

More room to park cars. More parks.

A zipline down the hills.

A series of interlocking roof top patios downtown - areas with coverage from elements; take advantage of ocean view; encourage smaller scale restaurants with public seating on patio.

BOARD 5: DO YOU HAVE ANY COMMENTS ABOUT THE GHG EMISSIONS REDUCTION TARGETS?

Please get the train system working for tourists and islanders.

BOARD 6: DO YOU HAVE ANY COMMENTS ABOUT THE OCP'S GROWTH MANAGEMENT DIRECTIONS?

Connect neighbourhoods with walking trails.

BOARD 7: DO YOU HAVE ANY COMMENTS ABOUT THE OCP'S FUTURE LAND USE PLAN?

More awareness needed of urban reserve land, possible signage.

BOARD 8: DO YOU HAVE ANY COMMENTS ABOUT THE DOWNTOWN HEART AND DOWNTOWN AREA LAND USE DESIGNATIONS?

Easier and less crowded parking on 1st Avenue.

BOARD 9: DO YOU HAVE ANY COMMENTS ABOUT THE MIDTOWN AND MULTI-FAMILY LAND USE DESIGNATIONS?

Yes to the coronation mall community centre extension! South end needs a centre.

More apartments.

More details of projected 5-6+ storey builds.

More condos.

BOARD 10: DO YOU HAVE ANY COMMENTS ABOUT THE NEIGHBOURHOOD RESIDENTIAL AND LOCAL COMMERCIAL LAND USE DESIGNATIONS?

Housing accessible for seniors.

More cafés and restaurants in walking distance.

BOARD 11: DO YOU HAVE ANY COMMENTS ABOUT THESE LAND USE DESIGNATIONS?

Campground.

BOARD 12: DO YOU HAVE ANY COMMENTS ABOUT THESE TRANSPORTATION POLICIES?

Be so great to take the train north and south on Island.

BOARD 13: DO YOU HAVE ANY COMMENTS ABOUT THESE [DIVERSE & AFFORDABLE HOUSING, SOCIAL INFRASTRUCTURE, AND ECONOMY] POLICIES?

Secondary suites separate from main home, for elderly family and rentals i.e. Family Tree Homes.

Vacation rentals - attract tourism for local economy.

BC Housing - "Local" Affordable housing gov. Funding - through federal funds and grants.

"Affordable" housing needs to really be affordable - how will this occur?

BOARD 14: DO YOU HAVE ANY COMMENTS ABOUT THESE [PARKS & OPEN SPACE AND ARTS, CULTURE, & HERITAGE] POLICIES?

This isn't the last pandemic.

I would like to see a focus on outdoor eating and coffee spaces.

Update to heritage plan.

Money (grants) available to do it.

Ladysmith Little Theatre. Seems to have been forgotten here.

Can we make Ladysmith a recreation hub by capitalizing on trail system?

Community events are great. How to keep recruiting next gen volunteers?

BOARD 15: DO YOU HAVE ANY COMMENTS ABOUT THESE [GREEN BUILDINGS AND MUNICIPAL INFRASTRUCTURE] POLICIES?

Using materials that are not harmful to the environment and humans. Such as hemp.

Creating sustainable communities. Eco Friendly / renewable energy.

Our roads are in deteriorating condition. Is there a plan to fix our roads?

What population can our current water supply support?

What are the plans for increasing capacity?

What is the expected time frame for increasing our water reservoir?

Attachment H

APPENDIX C – FINAL OCP PLANCAKE BREAKFAST

Attachment H

Attachment H

BOARD 16: DO YOU HAVE ANY OTHER COMMENTS TO SHARE TODAY?

Better traffic flow especially near schools.

Light/intersection at bottom of Christie Grouhel Rd.

Left turn advance at North End into First Ave.

Need to promote tourism as an economic driver (green).

Affordable housing that is affordable reduces poverty.

Projected population growth 50% by 2050 need for traffic flow study.

Need for commercial zoning to allow for 50% increase in growth population (shopping).

Check out the colours in Kinsale, Ireland; Kelowna also has an area - bright and inviting drawing many to their shops, restaurants etc.

Use view corridors for residential use not industrial light or otherwise.

Increase parking downtown.

Community access connection to waterfront for all highway frontage subdivisions. Safe accessible link. Taking too long to put in place.

Prioritize 5th Ave for cycling.

How many cars will bike lanes take off highway and major roads?

Add mechanical assist for Methuen segment between 1st and HWY.

Encourage heat pump low flo toilets etc.

Preserve and maintain our heritage downtown.

How many times have I mentioned this - need to connect S. Ladysmith with the waterfront for pedestrians and cyclists!

Shuttle or transit to/from 1st/Transfer Beach/etc. and parking especially for events.

Walkable playground for all neighbourhoods.

Focus on preserving and building up trail systems behind us - Cumberland!

Use laneway between 1st and Esplanade over 1st for primary cycling.

Fix link between Bayview -> Save-on Foods -> Chemainus on Hwy 1

Will existing road width on First Ave allow for what 1st shown in your diagrams?

Parking at tunnel - you want to encourage walking!

Increase in recreational activities and facilities to handle town and surrounding area population growth 50%.

Community adoptions of boulevards and easements to add beauty and pollinator spaces to our town.

Prioritize infrastructure improvements over developments. More youth focused environments / places and programs for community growth.

Cold weather shelter.

For goodness sakes support the train.

Agree-support the train as a long-term environmental solution.

Additional EV charging stations.

**BOARD 17: DO YOU HAVE ANY OTHER COMMENTS
TO SHARE TODAY? (CONTINUED)**

*Find alternative funding for waterfront development. Not
condos.*

Extend Cowichan Valley trail past Transfer Beach.

Repair charging station 1st + Buller.

ICF lets get trains on the tracks.

Working EV station.

More senior rental need more low rentals.

*Traffic calming on Root St. Cars are far too fast past the
children's playground.*

3 way stop intersections are sketchy. 4 way/or 2 way.

*Proposed condo @ the "Jewel": develop bottom storey
open so ocean water can flow thru with tides in upcoming
decades.*

Need more waterfront restaurants.

*Clear cutting for new development causes drainage
problems below.*

Pax Todd.

More circles i.e. Roberts + 1st Ave.

More traffic circles - get rid of 4-way stops.

Curling ice rink.



TOWN OF LADYSMITH

BYLAW NO. 2129

A Bylaw to amend "Town of Ladysmith Zoning Bylaw 2014, No. 1860"

The Council of the Town of Ladysmith in open meeting assembled enacts as follows:

1. Schedule A – Zoning Bylaw Text is amended by adding a new subsection in section 9 "Site Specific Regulations" in section 12.2 "Light Industrial (I-1)" to follow existing subsections and alphabetized accordingly, as follows:
 - x) For the *Parcel* legally described as Lot 1 District Lot 38 Oyster District Plan VIP86027 Except Part in Strata Plan VIS6726 (Phases 1 and 2) and Plan EPP23810 (1152 Rocky Creek Road), *Cannabis Cultivation* and *Cannabis Processing* are permitted principal uses, subject to being contained entirely within an enclosed *Building*.
2. Schedule B – Zoning Bylaw Map is amended by changing the zone for the subject property, Lot 1 District Lot 38 Oyster District Plan VIP86027 Except Part in Strata Plan VIS6726 (Phases 1 and 2) and Plan EPP23810, as shown in Schedule 1, attached to and forming part of this Bylaw, from Live/Work Industrial (I-1A) to Light Industrial (I-1).

Citation

3. This Bylaw may be cited for all purposes as "Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw (No. 53) 2022, No. 2129".

READ A FIRST TIME on the 20th day of December, 2022

READ A SECOND TIME on the 20th day of December, 2022

PUBLIC HEARING HELD on the 24th day of January, 2023

READ A THIRD TIME on the 24th day of January, 2023

APPROVED BY MINISTRY OF TRANSPORTATION & INFRASTRUCTURE

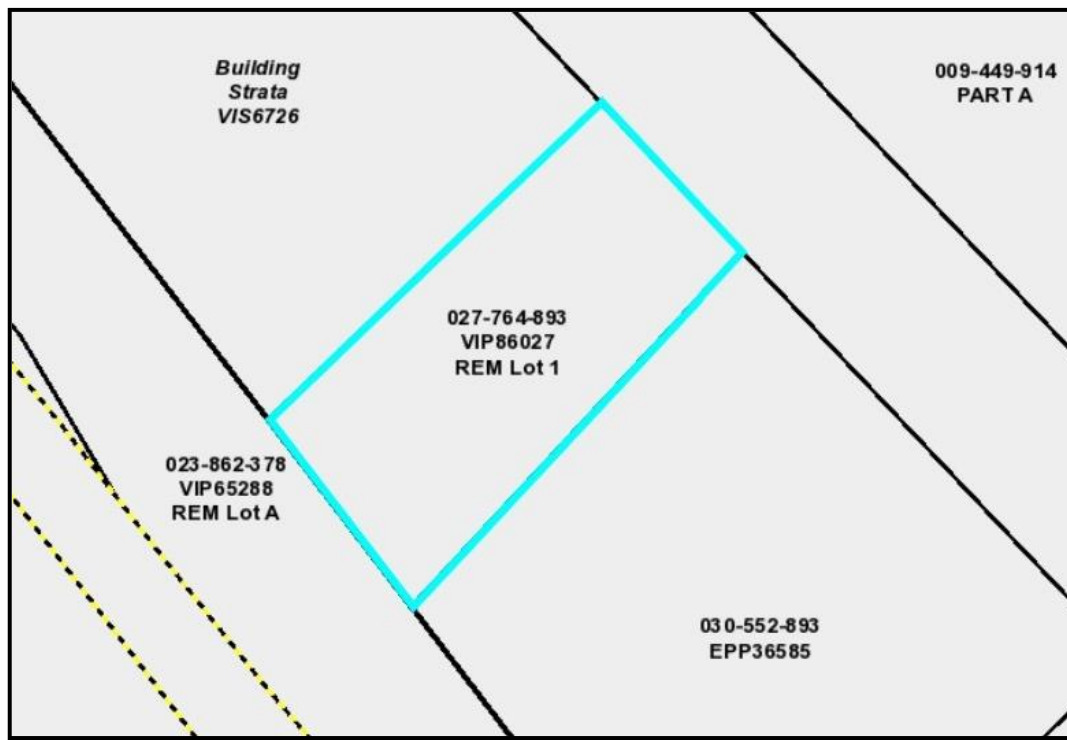
on the 1st day of March, 2023

ADOPTED on the _____ day of _____, 2023

Mayor (A. Stone)

Corporate Officer (M. O'Halloran)

Schedule 1



Mayor (A. Stone)

Subject _____
Property Corporate Officer (M. O'Halloran)

Approved pursuant to section 52(3)(a) of
the *Transportation Act*

this 1st day of March, 2023
Ministry of Transportation and Infrastructure


D. Atchison

TOWN OF LADYSMITH

BYLAW NO. 2132

A Bylaw to amend “Town of Ladysmith Zoning Bylaw 2014, No. 1860”

The Council of the Town of Ladysmith in open meeting assembled enacts as follows:

1. Schedule A – Zoning Bylaw Text is amended by adding a new subsection in section 9 “Site Specific Regulations” in section 12.2 “Light Industrial (I-1)” to follow existing subsections and alphabetized accordingly, as follows:
 - x) For the *Parcel* legally described as Lot D District Lot 38 Oyster District Plan EPP36585 (1144 Rocky Creek Road), *Cannabis Cultivation* and *Cannabis Processing* are permitted principal uses, subject to being contained entirely within an enclosed *Building*.

Citation

- xi) This Bylaw may be cited for all purposes as “Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw (No. 55) 2022, No. 2132”.

READ A FIRST TIME on the 20th day of December, 2022

READ A SECOND TIME on the 20th day of December, 2022

PUBLIC HEARING HELD on the 24th day of January, 2023

READ A THIRD TIME on the 24th day of January, 2023

APPROVED BY MINISTRY OF TRANSPORTATION & INFRASTRUCTURE

on the 1st day of March, 2023

ADOPTED on the _____ day of _____, 2023

Mayor (A. Stone)

Corporate Officer (M. O’Halloran)

TOWN OF LADYSMITH

BYLAW NO. 2132

A Bylaw to amend "Town of Ladysmith Zoning Bylaw 2014, No. 1860"

The Council of the Town of Ladysmith in open meeting assembled enacts as follows:

1. Schedule A – Zoning Bylaw Text is amended by adding a new subsection in section 9 "Site Specific Regulations" in section 12.2 "Light Industrial (I-1)" to follow existing subsections and alphabetized accordingly, as follows:
 - x) For the *Parcel* legally described as Lot D District Lot 38 Oyster District Plan EPP36585 (1144 Rocky Creek Road), *Cannabis Cultivation* and *Cannabis Processing* are permitted principal uses, subject to being contained entirely within an enclosed *Building*.

Citation

- xi) This Bylaw may be cited for all purposes as "Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw (No. 55) 2022, No. 2132".

READ A FIRST TIME on the 20th day of December, 2022

READ A SECOND TIME on the 20th day of December, 2022

PUBLIC HEARING HELD on the 24th day of January, 2023

READ A THIRD TIME on the 24th day of January, 2023

APPROVED BY MINISTRY OF TRANSPORTATION & INFRASTRUCTURE

on the _____ day of _____, 2022

ADOPTED on the _____ day of _____, 2022

Mayor (A. Stone)

Corporate Officer (M. O'Halloran)

Approved pursuant to section 52(3)(a) of
the *Transportation Act*

this 1st day of March 2023
Ministry of Transportation and Infrastructure

D. Atchison

TOWN OF LADYSMITH

BYLAW NO. 2136

A Bylaw to amend "Noise Suppression Bylaw 2003, No. 1478"

The Council of the Town of Ladysmith in open meeting assembled enacts that "Noise Suppression Bylaw 2003, No. 1478" is amended as follows:

1. Section 12 (Exempt Noise) is amended by adding the following item:

"n) The making of noise which is usual to or inevitable in the permitted uses in a prescribed zone; and the making of noise, which is usual to or inevitable in the operation of a business in a zone which permits the operation of such business."

Citation

2. This Bylaw may be cited for all purposes as "Noise Suppression Bylaw 2003, No. 1478, Amendment Bylaw 2023, No. 2136".

READ A FIRST TIME on the 21st day of February, 2023

READ A SECOND TIME on the 21st day of February, 2023

READ A THIRD TIME on the 21st day of February, 2023

ADOPTED on the _____ day of _____, 2023

Mayor (A. Stone)

Corporate Officer (M. O'Halloran)

BYLAW STATUS SHEET
March 7, 2023

Bylaw #	Description	Status
2099	"Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2099". Removes minimum sizes for caretaker dwellings or dwelling units.	First and second readings, January 24, 2023. Public Hearing and third reading February 21, 2023. MOTI approval required.
2100	"Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw 2023, No. 2100". Incentivizes one-storey coach houses and secondary suites and reduces the impact of two-storey coach houses.	First and second readings, January 24, 2023. Public Hearing and third reading February 21, 2023. MOTI approval required.
2106	"Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw (No. 71) 2022, No. 2106". Amends land use and Development Permit Areas at Lot 5, Holland Creek.	First and second readings, April 19, 2022. Public Hearing held August 2, 2022. Second reading rescinded, September 6, 2022. Second public hearing and third reading September 20, 2022. Conditions to be met prior to adoption.
2107	"Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw (No.48) 2022, No. 2107". Includes secondary suites, coach house dwellings and townhouse dwellings at Lot 5, Holland Creek.	First and second readings, April 19, 2022. Public Hearing held August 2, 2022. Second reading rescinded, September 6, 2022. Second public hearing and third reading September 20, 2022. Conditions to be met prior to adoption.
2113	"Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw (No. 49) 2022, No. 2113". Re-zones Lot B -891 Russell Road from R-1 single family to R-1-A single family small lot, for the purpose of a subdivision.	First, second and third readings, November 15, 2022. MOTI approval required.
2129	"Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw (No. 53) 2022, No. 2129". Rezones 1152 Rocky Creek Rd from I-1A to I-1 and adds a site specific provision to permit Cannabis Cultivation and Processing.	First and second readings, December 20, 2022. Public Hearing and third reading, January 24, 2023. MOTI approval received March 1, 2023..
2130	"Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw (No. 73) 2022, No. 2130" (10940 Westdowne Rd.) Changes the OCP designation from single family to Mobile Home Park residential.	First and second readings, December 20, 2022. Public Hearing required. MOTI approval required.
2131	"Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw (No. 54) 2022, No. 2131" (10940 Westdowne Rd.) Changes zoning from Rural Residential (RU-1) to Manufactured Home Park (MHP-1)	First and second readings, December 20, 2022. Public Hearing required. MOTI approval required.
2132	"Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw (No.55) 2022, No. 2132". Rezones	First and second readings, December 20, 2022. Public Hearing and third reading, January 24, 2023. MOTI approval received March 1, 2023.

BYLAW STATUS SHEET

March 7, 2023

	1144 Rocky Creek Rd. to add a site specific provision to I-1 to permit Cannabis Cultivation and Processing.	
2133	"Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw (No. 56) 2023, No. 2133". Allows convenience store at 1132-1142 Rocky Creek Rd.	First and second readings, January 10, 2023. Public Hearing required. MOTI approval required.
2136	"Noise Suppression Bylaw 2003, No. 1478" Amendment to Business Zones. Specifically regulates industrial noise or noise in an industrial zone.	First, second and third readings, February 21, 2023.
2137	"Official Community Plan Bylaw 2003, No. 1488, Amendment Bylaw 2023, No. 2137". Amends the Downtown Core designation for higher density allowance where a heritage building is restored.	First and second readings, February 21, 2023. Public Hearing required.
2138	"Town of Ladysmith Zoning Bylaw 2014, No. 1860, Amendment Bylaw, 2023, No. 2138". Site specific regulations in the C-2 zone for 440 1 st Avenue.	First and second readings, February 21, 2023. Public Hearing required.
2200	"Official Community Plan Bylaw 2022, No. 2200". A new Official Community Plan for the Town.	First reading, September 20, 2022. Referred to various agencies as per resolution CS 2022-230. First reading as amended scheduled for March 7, 2023.

February 22, 2023

Councillor Tricia McKay
Town of Ladysmith
PO Box 220
Ladysmith, BC V9G 1A2

Sent via email: tmckay@ladysmith.ca

Dear Councillor McKay,

On behalf of the Union of British Columbia Municipalities, I wish to personally invite you to attend our upcoming housing summit, *Housing BC Together*, at the Sheraton Vancouver Wall Center on April 4-5, 2023.

The two-day summit will provide an opportunity to discuss the range of housing challenges facing communities across British Columbia. It will support and further accelerate collaboration amongst local governments, industry, the not-for-profit and Indigenous housing sectors in responding to the continuing crisis in housing affordability and attainability. The summit will also assist in the identification of solutions to address gaps in current policy, strengthen intergovernmental co-operation, and highlight best practices for local governments.

The Honourable Premier David Eby and the Honourable Ravi Kahlon, Minister of Housing, are among the speakers who will be featured at the event. The [agenda](#) will include sessions focused on increasing supply; Indigenous housing partnerships; densification & upzoning; tackling homelessness; rural and northern challenges; immigration and housing demand; speculative demand; and expediting development approvals. Full agenda details will be provided in the coming weeks and [registration](#) is now open.

The program will also provide local government delegates with opportunities to give input on the ongoing development of [UBCM's housing policy](#).

I sincerely hope that you will consider attending the event given the critical importance of housing to British Columbians, and look forward to seeing you there.

Sincerely,

A handwritten signature in dark ink that reads "JCFord". The signature is written in a cursive, flowing style.

Jen Ford
UBCM President